

Inclusion on the City of Toronto's Heritage Register - College Street Properties

Date: March 12, 2018

To: Toronto Preservation Board
Toronto and East York Community Council

From: Acting Chief Planner and Executive Director, City Planning Division

Wards: Ward 20 - Trinity Spadina

SUMMARY

This report recommends that City Council include 24 properties along College Street identified in Recommendations 1 and 2 of this report on the City of Toronto's Heritage Register. The College Street properties are found on both sides of the street between University Avenue and Bathurst Street. All of the properties meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies when assessing properties for its Heritage Register.

The College Street properties were previously identified in the College Street Study, which was undertaken by the City's Planning Division beginning in 2013 and involved three Community Consultation meetings and four Stakeholder Advisory Committee meeting, including a walking tour.

City Council adopted the College Street Study Official Plan Amendment at its meeting of May 24, 2017, including a recommendation that "City Council direct the Senior Manager, Heritage Preservation Services to report to the Toronto Preservation Board and Toronto and East York Community Council on the possibility for inclusion on the City's Heritage Register of the potential heritage resources identified in the study area as illustrated in Attachment No. 4." The latter attachment (map) is appended as Attachment 1 to this report.

Properties on the Heritage Register will be conserved and maintained in accordance with the Official Plan Heritage Policies.

RECOMMENDATIONS

The Acting Chief Planner and Executive Director, City Planning Division, recommends that:

1. City Council include the following 15 properties on the south side of College Street on the City of Toronto's Heritage Register:

167 College Street
175 College Street
177-179 College Street
181-183 College Street
185-187 College Street
191 College Street (including the entrance address at 189 College Street)
193-195 College Street
199 College Street (including the entrance address at 197 College Street)
211 College Street (including the entrance addresses at 215 and 219 College Street)
223 College Street
229 College Street
239 College Street
243 College Street
271 College Street (including the entrance addresses at 273, 275, 277 and 279 College Street)
357 College Street

2. City Council include the following 9 properties on the north side of College Street on the City of Toronto's Heritage Register:

280 College Street
288 College Street (including the entrance address at 284 College Street)
356 College Street (including the entrance addresses at 8 and 8A Brunswick Avenue)
372 College Street
376, 378 and 380 College Street (including the entrance address at 3 Borden Street)
382, 386 and 388 College Street (including the entrance address at 384 College Street)
396 College Street
398, 402 and 404 College Street (including the entrance address at 400 College Street)
414, 418 and 420 College Street (including the entrance address at 416 College Street)

Note: some addresses contain more than one property

FINANCIAL IMPACT

There are no financial implications resulting from the adoption of this report.

DECISION HISTORY

At its meeting of May 24, 2017, City Council adopted the College Street Study Official Plan Amendment:

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2017.TE24.3>

Including the report dated April 17, 2017:

<https://www.toronto.ca/legdocs/mmis/2017/te/bgrd/backgroundfile-103021.pdf>

At its meeting of December 5, 2017, City Council adopted TE28.94 and stated its intention to designate the properties at 281-287 College Street under Part IV, Section 29 of the Ontario Heritage Act:

<http://app.toronto.ca/tmmis/viewAgendaItemHistory.do?item=2017.TE28.94>

COMMENTS

The 24 properties listed in Recommendations 1 and 2 of this report are identified as having heritage potential in the College Street Study Official Plan Amendment, which was adopted by City Council at its meeting of May 24, 2017.

A map showing the properties with potential cultural heritage value in the College Street Study area is appended as Attachment 1. Separate attachments provide the Statements of Significance (Reasons for Inclusion), identifying the cultural heritage values and attributes, along with location maps and photographs for the 24 properties, including 15 on the south side of College Street (Attachment 2) and 9 on the north side of the street (Attachment 3). An overview of the College Street neighbourhood and its building typologies is provided in Attachment 4.

Pro-active listing of properties is intended to give greater clarity to property owners with regards to the City's interest and the application of Official Plan policies. The primary aim will be to achieve an informed, timely listing of properties in tandem with local area studies. In order to shorten the time it takes to research and evaluate multiple properties for listing, the City's abbreviated approach, one that still applies provincial criteria as required in the Official Plan, but which sets out a preliminary, not exhaustive, set of unique values. An understanding and articulation of contextual value will be prioritized and, where information is readily available, additional values may be identified. The multiple-listing process is an efficient and effective practice that balances the need to respond to unprecedented growth within Toronto with the need to account for the cultural heritage value that adds character to our neighbourhoods.

The properties in Recommendations 1 and 2 have been evaluated according to Ontario Regulation 9/06, the provincial criteria prescribed for Part IV designation under the Ontario Heritage Act, which the City also applies when considering properties for its Heritage Register. All of the properties meet the criteria under contextual and design value. Detailed historical research was not undertaken at this time to determine potential additional values, including historical associations with individuals, communities and architects. The dates of construction cited in the Statements of Significance were taken from the city directories, Goad's fire insurance atlases and, where applicable, the *Biographical Dictionary of Architects in Canada, 1800-1950*: <http://dictionaryofarchitectsincanada.org/>

CONTACT

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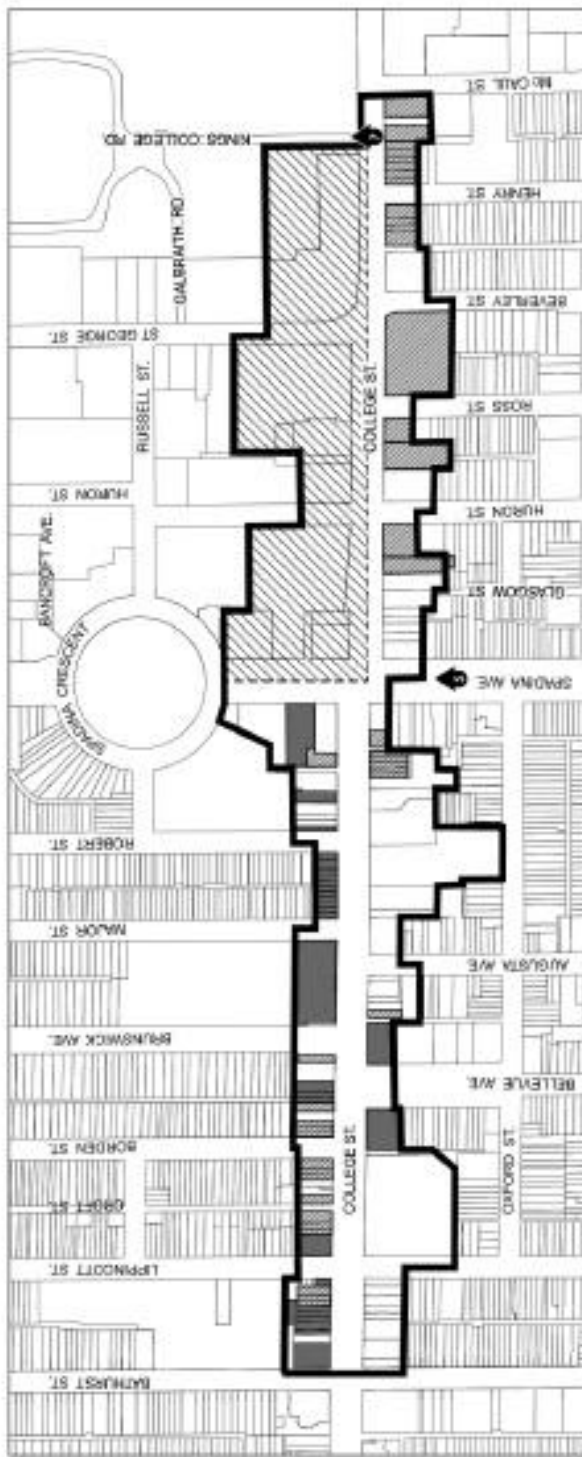
SIGNATURE

Gregg Lintern, MCIP, RPP
Acting Chief Planner and Executive Director
City Planning Division

ATTACHMENTS

Attachment 1: Location Map, College Street Study
Attachment 2: College Street, South Side - Location Maps, Photographs, Statements of Significance (Reasons for Inclusion)
Attachment 3: College Street, North Side - Location Maps, Photographs, Statements of Significance (Reasons for Inclusion)
Attachment 4: Historical Overview

Attachment 4: Heritage Inventory for the College Street Study Area



Toronto
Heritage Inventory for the College Street Study Area

College Street Study
 File # 13 177789 STE 00 TM

▭ Study Area Boundary
▬ Protected Views identified in the Official Plan
■ Properties Included on the Heritage Register
▨ Properties with Potential to be Included on the Heritage Register
▨ Subject to University of Toronto Secondary Plan, which at the time of this survey is currently under review

↖ Not to Scale
 04/10/2017

ATTACHMENT 2

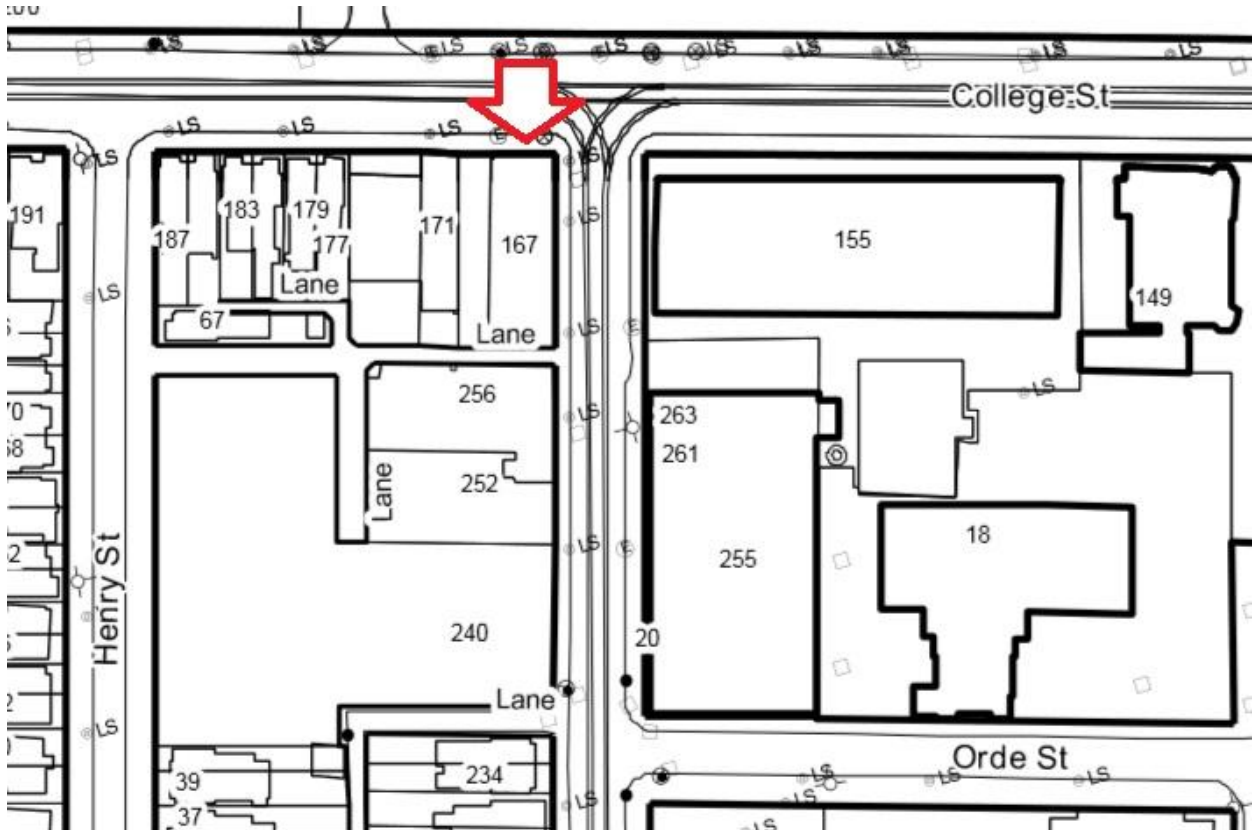
LOCATION MAPS, PHOTOGRAPHS AND STATEMENTS OF SIGNIFICANCE (REASONS FOR INCLUSION) FOR COLLEGE STREET PROPERTIES, **SOUTH SIDE**

167 College Street
175 College Street
177-179 College Street
181-183 College Street
185-187 College Street
191 College Street (including the entrance address at 189 College Street)
193-195 College Street
199 College Street (including the entrance address at 197 College Street)
211 College Street (including the entrance addresses at 215 and 219 College Street)\
223 College Street
229 College Street
239 College Street
243 College Street
271 College Street (including the entrance addresses at 273, 275, 277 and 279 College Street)
357 College Street

The following location maps are for information purposes only; the exact boundaries of the properties are not shown. On each map, the arrow marks the location of the subject property.

Attached photographs, Heritage Preservation Services, 2018.

LOCATION MAP AND PHOTOGRAPH: 167 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 167 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 167 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 167 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the southwest corner of McCaul Street, the property at 167 College Street contains a commercial building that was first recorded in 1949 in the City Directory when it was occupied by the College Medical Centre.

Statement of Significance

The property at 167 College Street has design value as a commercial building from the post-World War II era with Mid-Century Modern features, particularly the balance of solids and voids and the treatment of the east elevation on McCaul Street with the combination of punched and ribbon windows. The building is further distinguished by the stone window surrounds that unify all sides of the edifice.

Contextually, the property at 167 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. The building at 167 College Street reflects the ongoing evolution of the area where the earlier house form buildings were replaced by commercial structures that reflected the scale and setback introduced along the thoroughfare.

The building at 167 College Street is historically, visually and physically linked to its setting on the southwest corner of McCaul Street where it anchors the east end of the block that includes the Canadian Institute of Pharmacy Building (1965) at 175 College Street, which complements it in scale and vintage.

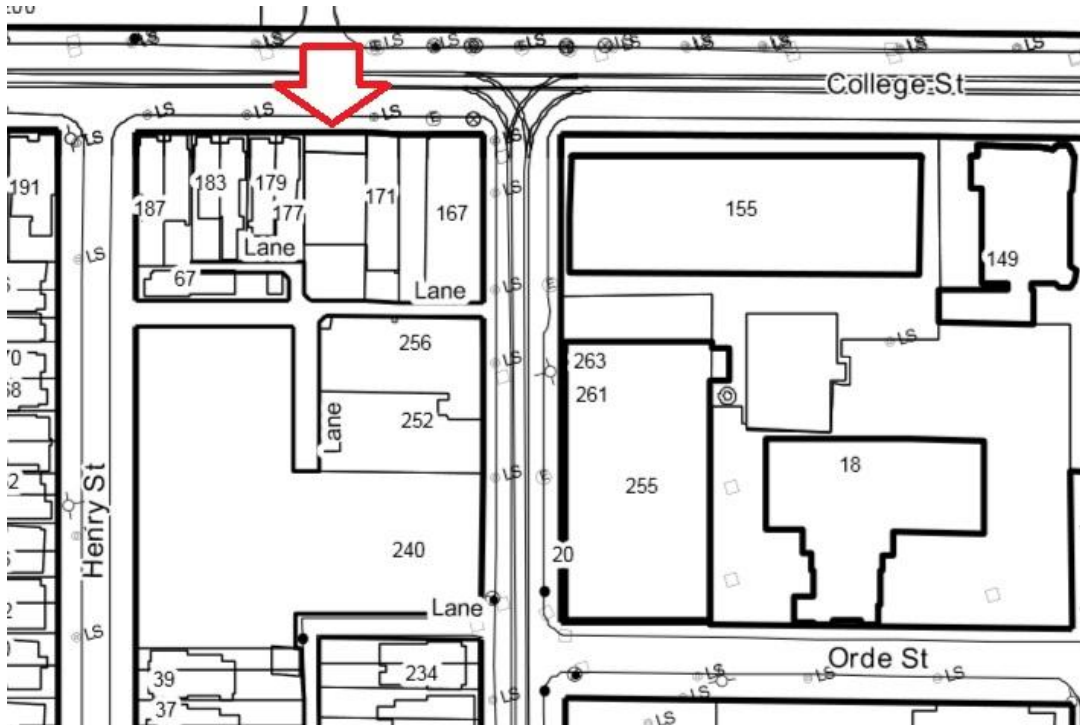
Heritage Attributes

The heritage attributes of the building at 167 College Street are:

- The setback, placement and orientation of the building on the southwest corner of McCaul Street
- The scale, form and massing of the two-storey rectangular-shaped plan above the raised base with the flat-headed window openings
- The flat roofline (the current cladding along the roofline is an addition)

- The materials with the brick cladding and the brick and stone detailing, including the stone band course
- The principal (east) elevation on McCaul Street, where the centre of the wall features a stone-clad section with punched window openings, which is flanked by flat-headed openings containing the entrances and surmounted by ribbon windows
- On all elevations, the flat-headed window openings that are set in stone surrounds

LOCATION MAP AND PHOTOGRAPH: 175 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 175 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 175 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 175 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between McCaul and Henry streets, the property at 175 College Street contains a commercial building that was first recorded in 1965 in the City Directory when it was occupied by the Canadian Institute of Pharmacy.

Statement of Significance

The property at 175 College Street has design value as a commercial building that reflects the Modern Movement in architecture during the late 20th century, particularly the balance of solids and voids with the grid-like treatment of the north elevation with the glazing.

Contextually, the property at 175 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. The building at 175 College Street reflects the ongoing evolution of the area where the earlier house form buildings were replaced by commercial structures that reflected the scale and setback introduced along the thoroughfare.

The building at 175 College Street is historically, visually and physically linked to its setting on the south side of the street between McCaul and Henry streets where it is a visible feature in the block that includes, at the east end, the building known historically as the College Medical Centre (1949) at 167 College Street, which complements it in scale and vintage.

Heritage Attributes

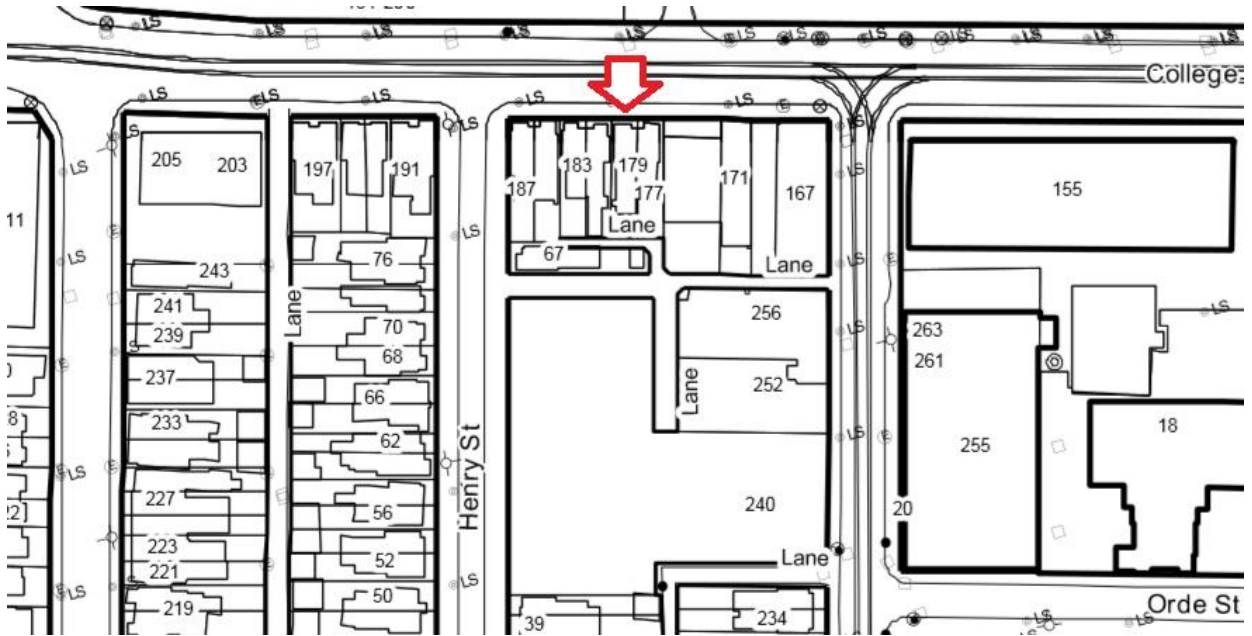
The heritage attributes of the building at 175 College Street are:

- The setback, placement and orientation of the building on the south side of the street, west of McCaul Street
- The scale, form and massing of the structure with the three-storey rectangular-shaped plan on a raised base
- The flat roofline with the coping

- The materials with the brick cladding and the brick, stone and glass detailing
- The principal (north) elevation on College Street, which is organized into three asymmetrical bays with solid sections flanking the glazed centre with the piers and panels
- On the north elevation, the placement of the main entrance on the first (ground) floor in the west (right) bay
- The east and west elevations

Note: no heritage attributes are identified on the rear (south) elevation.

LOCATION MAP AND PHOTOGRAPHS: 177 AND 179 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 177 and 179 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 177 and 179 College Street are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 177 and 179 College Street were identified for their potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between McCaul and Henry streets, the properties at 177 and 179 College Street contain a pair of semi-detached house form buildings that were first recorded as "unfinished" in 1886 in the City Directory. Occupied the following year, the dwellings were later converted for mixed residential and commercial uses.

Statement of Significance

The properties at 177 and 179 College Street have design value as surviving examples of late 19th century house form buildings on College Street, west of McCaul Street, with detailing from the popular architectural styles of the Victorian era, including the Italianate and Gothic Revival. The pair anchors the east end of a trio of semi-detached house form buildings that were constructed together.

Contextually, the properties at 177 and 179 College Street are valued for their role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. With their later conversion for mixed commercial and residential uses, the buildings reflect the ongoing evolution of the thoroughfare

The buildings at 177 and 179 College Street are historically, visually and physically linked to their setting in the block on the south side of the street where they anchor the east end of a series of complementary late 19th century house form buildings adjoining both sides of the intersection with Henry Street.

Heritage Attributes

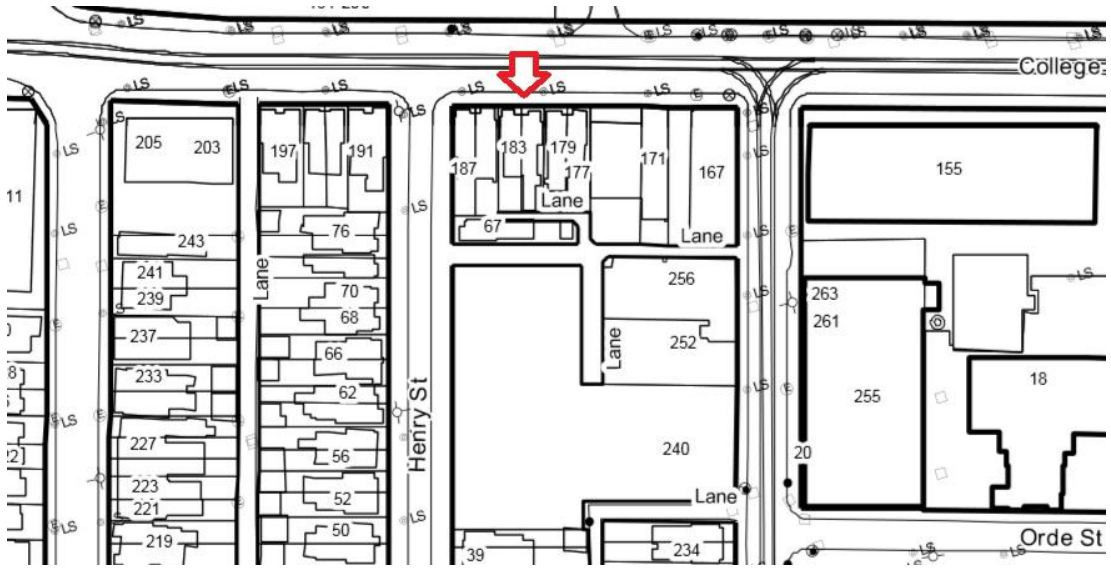
The heritage attributes of the building at 177 and 179 College Street are:

- The setback, placement and orientation of the buildings on the south side of the street between McCaul and Henry streets
- The scale, form and massing of the 2½-storey plans above the raised stone bases

- The gable roofs with the gabled dormer containing decorative woodwork on the north slope
- The materials with the brick cladding and the brick and stone detailing (the brickwork has been painted)
- The principal (north) elevations, which are organized as mirror images with the raised entrances flanked by the bay windows with the flat-headed openings, brick hood moulds, stone sills, and gables with decorative woodwork (the bay window on 179 College has been altered and the wood trim removed from its gable)
- The east and west side elevations, which are viewed from College Street

Note: no heritage attributes are identified on the rear (south) elevations. The single-storey north addition on 179 College Street is not identified as a heritage attribute.

LOCATION MAP AND PHOTOGRAPH: 181 AND 183 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 181 and 183 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 181 and 183 College Street are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 181 and 183 College Street were identified for their potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between McCaul and Henry streets, the properties at 181 and 183 College Street contain a pair of semi-detached house form buildings that were first recorded as "unfinished" in 1886 in the City Directory. Occupied the following year, the dwellings were later converted for mixed residential and commercial uses.

Statement of Significance

The properties at 181 and 183 College Street have design value as surviving examples of late 19th century house form buildings on College Street, west of McCaul Street, with detailing from the popular architectural styles of the Victorian era, including the Italianate and Gothic Revival. Placed in the centre of a trio of semi-detached house form buildings that were constructed together, the pair is further distinguished by the surviving decorative wood detailing in the gables.

Contextually, the properties at 181 and 183 College Street are valued for their role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. With their later conversion for mixed commercial and residential uses, the buildings reflect the ongoing evolution of the thoroughfare.

The buildings at 181 and 183 College Street are historically, visually and physically linked to their setting where they are part of a series of complementary late 19th century house form buildings adjoining both sides of the intersection with Henry Street.

Heritage Attributes

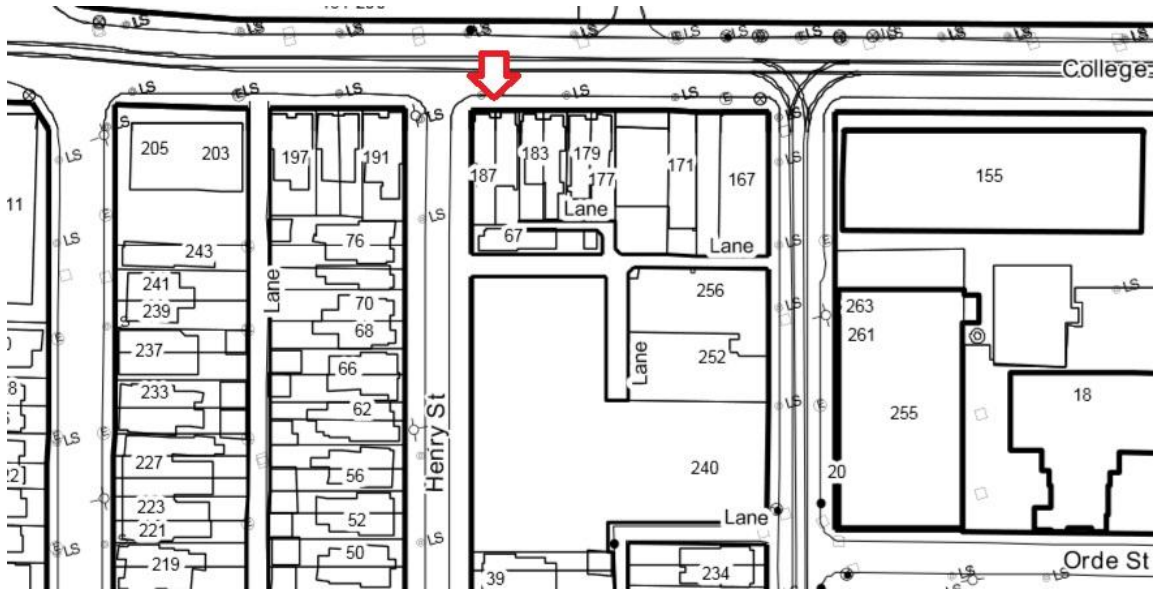
The heritage attributes of the building at 181 and 183 College Street are:

- The setback, placement and orientation of the buildings on the south side of the street between McCaul and Henry streets
- The scale, form and massing of the 2½-storey plans above the raised stone bases

- The gable roofs, with the gabled dormer containing decorative woodwork on the north slope
- The materials, with the brick cladding and the brick and stone detailing (the brickwork has been painted)
- The principal (north) elevations, which are organized as mirror images with the raised entrances flanked by the bay windows with flat-headed openings, brick hood moulds, stone sills, and gables with decorative woodwork
- The east and west side elevations, which are viewed from College Street

Note: no heritage attributes are identified on the rear (south) elevations.

LOCATION MAP AND PHOTOGRAPH: 185 AND 187 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 185 and 187 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 185 and 187 College Street are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 185 and 187 College Street were identified for their potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the southeast corner of Henry Street, the properties at 185 and 187 College Street contain a pair of semi-detached house form buildings that were first recorded as "unfinished" in 1886 in the City Directory. Occupied the following year, the dwellings were later converted for mixed residential and commercial uses.

Statement of Significance

The properties at 185 and 187 College Street have design value as surviving examples of late 19th century house form buildings on College Street, west of McCaul Street, with detailing from the popular architectural styles of the Victorian era, including the Italianate and Gothic Revival. Anchoring the west end of a trio of semi-detached house form buildings that were constructed together, the pair is further distinguished by the surviving decorative wood detailing in the gables.

Contextually, the properties at 185 and 187 College Street are valued for their role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. With their later conversion for mixed commercial and residential uses, the buildings reflect the ongoing evolution of the thoroughfare.

The buildings at 185 and 187 College Street are historically, visually and physically linked to their setting in the block on the south side of the street where they are part of a series of complementary late 19th century house form buildings adjoining both sides of the intersection with Henry Street.

Heritage Attributes

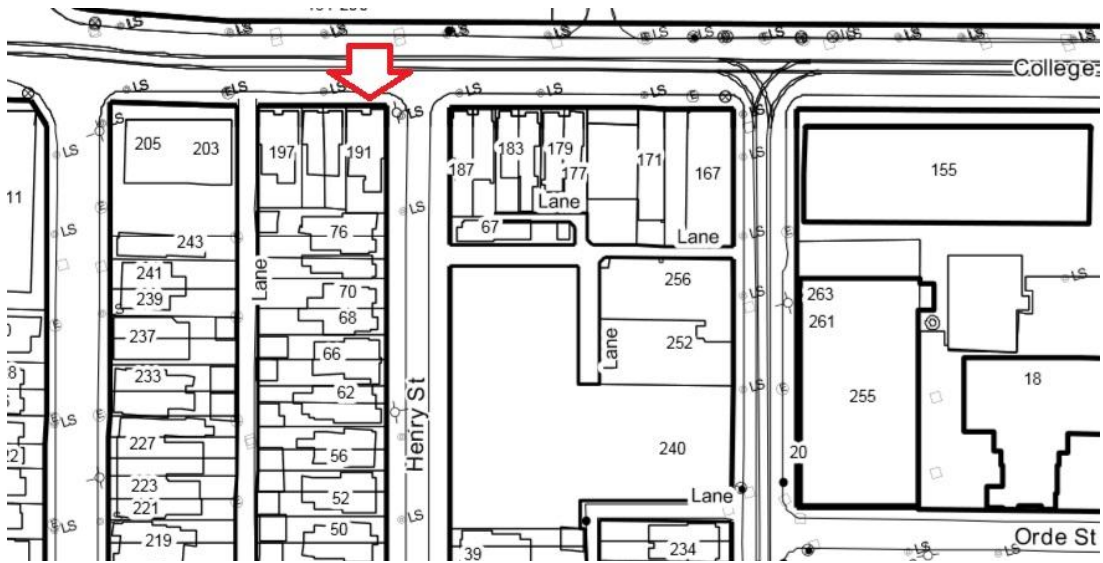
The heritage attributes of the building at 185 and 187 College Street are:

- The setback, placement and orientation of the buildings on the southeast corner of Henry Street
- The scale, form and massing of the 2½-storey plans above the raised stone bases

- The gable roofs with the gabled dormer with the decorative woodwork on the north slope
- The materials with the brick cladding and the brick and stone detailing (the brickwork has been painted)
- The principal (north) elevations, which are organized as mirror images with the raised entrances flanked by the bay windows with flat-headed openings, brick hood moulds, stone detailing, and gables with decorative woodwork
- The west side elevation facing Beverley Street with the 2½-storey bay window
- The east side elevation, which is viewed from College Street
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Note: no heritage attributes are identified on the rear (south) elevations.

LOCATION MAP AND PHOTOGRAPH: 191 COLLEGE STREET
(including entrance address of 189 College Street)



STATEMENT OF SIGNIFICANCE: 191 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 191 College Street (including the property with the entrance address of 189 College Street) is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 191 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the southwest corner of Henry Street, the property at 191 College Street contains a pair of semi-detached house form buildings that were first recorded in 1886 in the City Directory and later converted for mixed residential and commercial uses.

Statement of Significance

The properties at 191 College Street have design value as surviving examples of late 19th century house form buildings on College Street, west of McCaul Street, with detailing from the popular architectural styles of the Victorian era, including the Italianate and Gothic Revival. Anchoring the east end of a trio of semi-detached house form buildings that were constructed together, the pair is further distinguished by the surviving decorative wood detailing in the gables.

Contextually, the properties at 191 College Street (including the property with the convenience address of 189 College Street) are valued for their role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. With their later conversion for mixed commercial and residential uses, the buildings reflect the ongoing evolution of the thoroughfare

The buildings at 191 College Street are historically, visually and physically linked to their setting in the block on the south side of the street where they are part of a series of complementary late 19th century house form buildings adjoining both sides of the intersection with Henry Street.

Heritage Attributes

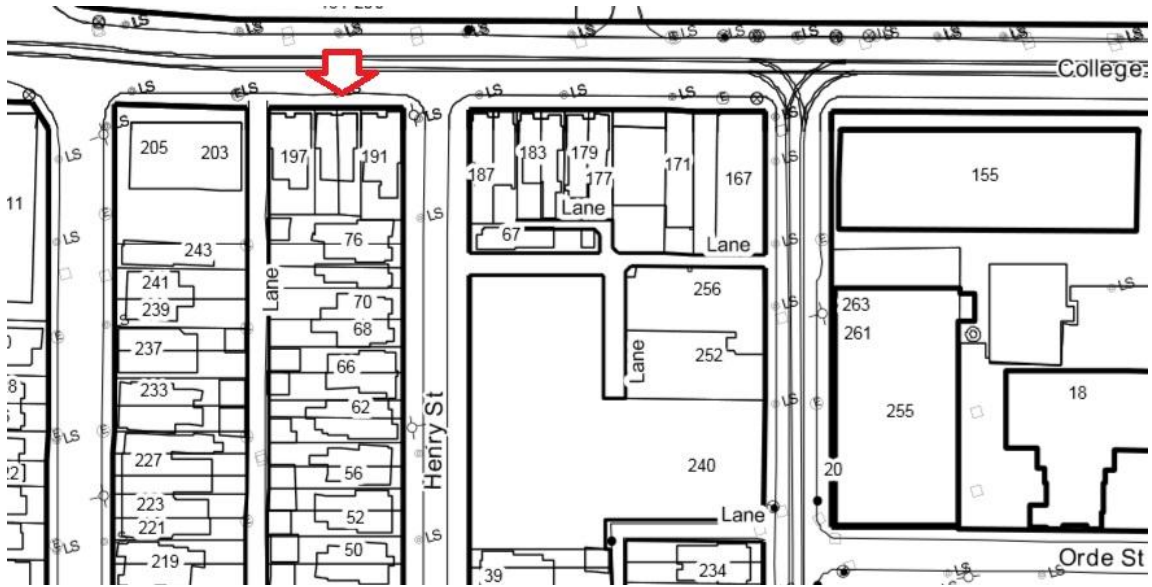
The heritage attributes of the building at 191 College Street are:

- The setback, placement and orientation of the buildings on the southwest corner of Henry Street
- The scale, form and massing of the 2½-storey plans above the raised stone bases

- The gable roofs with the gabled dormer with the decorative woodwork on the north slope
- The materials with the brick cladding and the brick and stone detailing
- The principal (north) elevations, which are organized as mirror images with the raised entrances flanked by the bay windows with flat-headed openings, brick flat arches, stone sills and band courses, and gables with decorative woodwork, including brackets
- The east side elevation facing Beverley Street with the window openings, and the west side elevation, which is viewed from College Street

Note: No heritage attributes are identified on the rear (south) elevations.

LOCATION MAP AND PHOTOGRAPH: 193 AND 195 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 193 and 195 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 193 and 195 College Street are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 193 and 195 College Street were identified for their potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between Henry and Beverley streets, the properties at 193 and 195 College Street contain a pair of semi-detached house form buildings that were first recorded in 1887 in the City Directory and later converted for mixed residential and commercial uses.

Statement of Significance

The properties at 193 and 195 College Street have design value as surviving examples of late 19th century house form buildings on College Street, west of McCaul Street, with detailing from the popular architectural styles of the Victorian era, including the Italianate and Gothic Revival. Placed in the centre of a trio of semi-detached house form buildings that were constructed together, the pair is further distinguished by the surviving decorative wood detailing in the gables.

Contextually, the properties at 193 and 195 College Street are valued for their role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. With their later conversion for mixed commercial and residential uses, the buildings reflect the ongoing evolution of the thoroughfare.

The buildings at 193 and 195 College Street are historically, visually and physically linked to their setting in the block on the south side of the street where they are part of a series of complementary late 19th century house form buildings adjoining both sides of the intersection with Henry Street.

Heritage Attributes

The heritage attributes of the building at 193 and 195 College Street are:

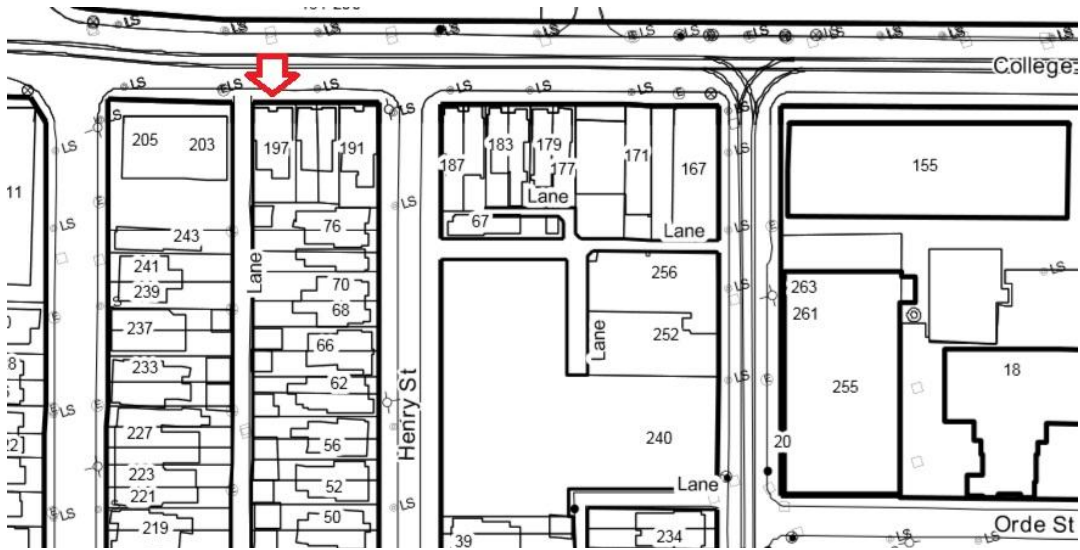
- The setback, placement and orientation of the buildings on the south side of the street, west of Henry Street
- The scale, form and massing of the 2½-storey plans above the raised stone bases

- The gable roofs with the gabled dormer containing decorative woodwork on the north slope
- The materials with the brick cladding and the brick and stone detailing (the brickwork has been covered with stucco)
- The principal (north) elevations, which are organized as mirror images with the raised entrances flanked by the bay windows with flat-headed openings, stained glass transoms, stone sills, and gables with decorative woodwork (the brick detailing above the window openings has been obscured by the stucco cladding)
- The west and east side elevations, which are viewed from College Street

Note: no heritage attributes are identified on the rear (north) elevations.

LOCATION MAP AND PHOTOGRAPH: 199 COLLEGE STREET

(including entrance address at 197 College Street)



STATEMENT OF SIGNIFICANCE: 199 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 199 College Street (including the property with the entrance address of 197 College Street) is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 199 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between Henry and Beverley streets, the property at 199 College Street contains a pair of semi-detached house form buildings that were first recorded in 1887 in the City Directory and later converted for mixed residential and commercial uses.

Statement of Significance

The properties at 199 College Street have design value as surviving examples of late 19th century house form buildings on College Street, west of McCaul Street, with detailing from the popular architectural styles of the Victorian era, including the Italianate and Gothic Revival. The buildings anchor the west end of a trio of semi-detached house form buildings that were constructed together.

Contextually, the properties at 199 College Street are valued for their role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. With their later conversion for mixed commercial and residential uses, the buildings reflect the ongoing evolution of the thoroughfare.

The buildings at 199 College Street are historically, visually and physically linked to their setting in the block on the south side of the street where they are part of a series of complementary late 19th century house form buildings adjoining both sides of the intersection with Henry Street.

Heritage Attributes

The heritage attributes of the building at 199 College Street are:

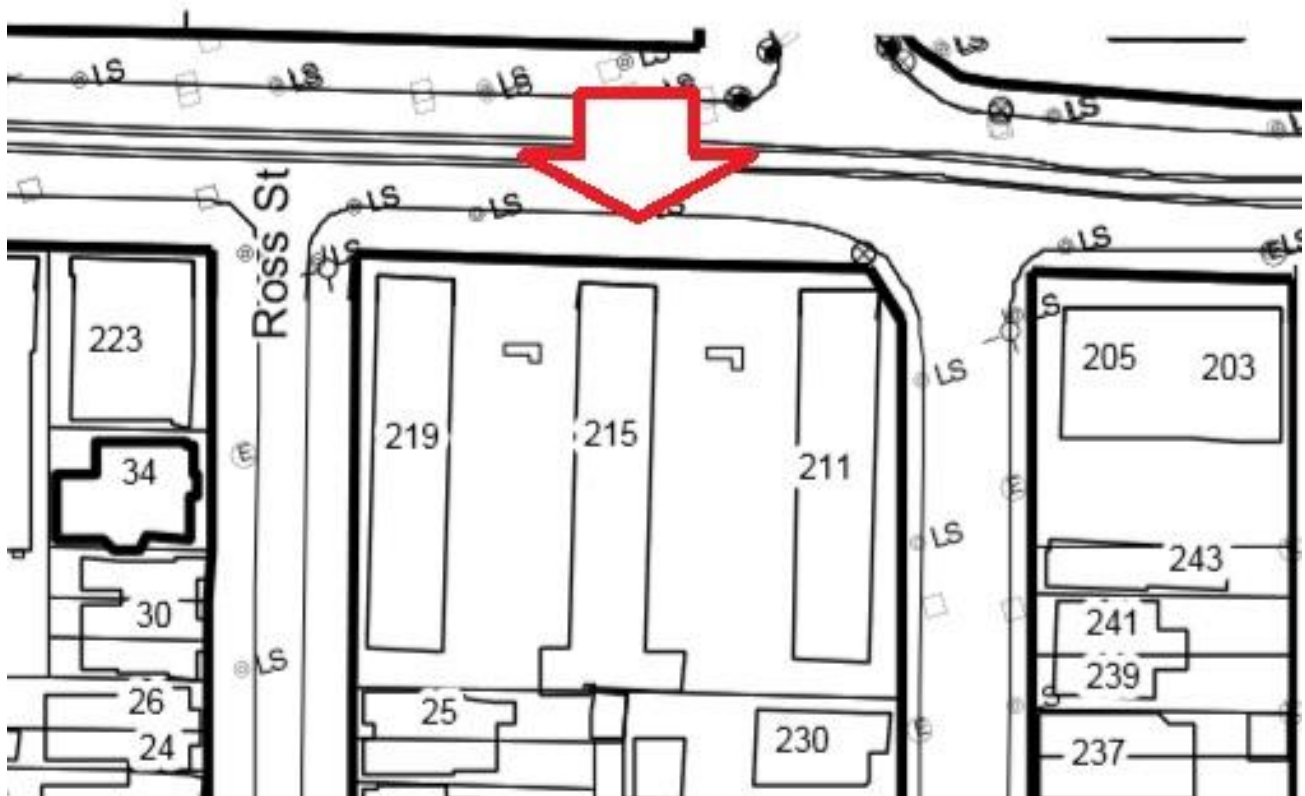
- The setback, placement and orientation of the buildings on the south side of the street, west of Henry Street
- The scale, form and massing of the 2½-storey plans above the raised stone bases
- The gable roofs with the gabled dormer on the north slope

- The materials with the brick cladding and the brick and stone detailing (the brickwork has been covered with stucco)
- The principal (north) elevations, which are organized as mirror images with the raised entrances flanked by the bay windows with flat-headed openings and gables (the brick and stone window detailing has been obscured by the stucco cladding, and the decorative woodwork in the gables has been replaced)
- The east and west side elevations, which are viewed from College Street

Note: no heritage attributes are identified on the rear (north) elevations.

LOCATION MAP AND PHOTOGRAPH: 211 COLLEGE STREET

(including the entrance addresses at 215 and 219 College Street)



STATEMENT OF SIGNIFICANCE: 211 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 211 College Street (including the properties with the entrance addresses at 215 and 219 College Street) is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 211 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street and extending across the block between Beverley Street (east) and Ross Street (west), the property at 211 College Street contains a trio of apartment buildings known as the Cawthra Mansions, which were completed in 1927 according to the plans of Toronto architect Charles Dolphin.

Statement of Significance

The property at 211 College Street has design value as well-crafted examples of garden court apartments from the interwar era. Comprising three buildings that are set in and separated by open landscaped space, the Cawthra Mansions are further distinguished by their well-crafted classical detailing, which complements the neighbouring institutional buildings on the University of Toronto's campus on the opposite side of College Street.

Contextually, the property at 211 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street, west of McCaul Street, which originally developed as a residential neighbourhood. The Cawthra Mansions contribute to the evolution of the thoroughfare with the introduction of multi-unit residential buildings that respect the scale and setback of the neighbouring residential properties.

The buildings at 211 College Street are historically, visually and physically linked to their setting in the block between Beverley and Ross streets. The trio of apartment buildings are placed in a landscaped setting opposite the University of Toronto's St. George campus.

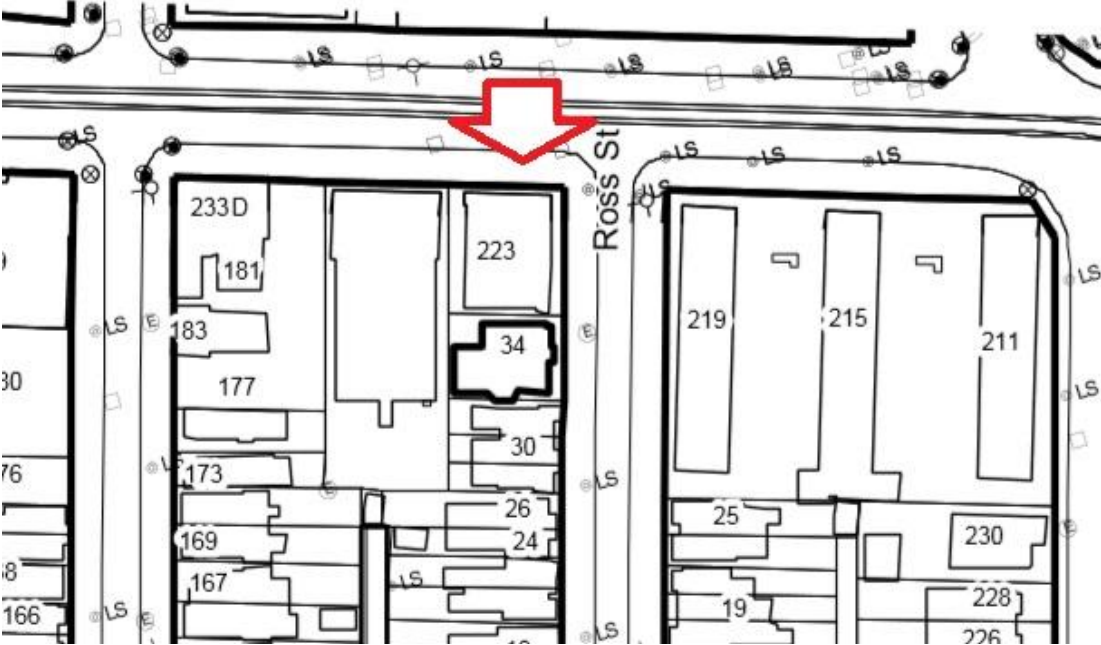
Heritage Attributes

The heritage attributes of the buildings at 211 College Street are:

- The setback, placement and orientation of the buildings on the south side of the street between Beverley and Ross streets

- The scale, form and massing of the trio of buildings that share three-storey rectangular-shaped plans above the raised stone bases with the window openings
- The flat rooflines with the cornices with brackets
- The materials with the brick cladding and the brick, stone and wood detailing including the brick quoins on the corners of each building, and the stone band courses at the bases and between the second and third stories
- On each building, the placement of the main entrances in frontispieces with swan's neck pediments on the walls facing the courtyards
- The fenestration on all elevations of each building, where the flat-headed openings are symmetrically placed, including those set in round-arched surrounds

LOCATION MAP AND PHOTOGRAPH: 223 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 223 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 223 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 223 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the southwest corner of Ross Street, the property at 223 College Street contains a three-storey commercial building that was completed in 1914 according to the plans of architect C. S. Cobb and originally housed the offices of the National Sanatorium Association.

Statement of Significance

The property at 223 College Street has design value as a commercial building dating to the World War I era and designed in the Edwardian Classical style that was popularized during that era. The building is particularly distinguished by its classical detailing that incorporates stone surrounds on the north and east entrances, as well as the cartouche (north) and the shield motifs.

Contextually, the property at 223 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street, east of Spadina Avenue, which evolved from its origins as a residential district to one welcoming institutional and commercial buildings with heights associated with the "tall building" boom in Toronto during the early 20th century.

The building at 223 College Street is historically, visually and physically linked to its corner setting where in its scale and appearance it complements the adjoining commercial building at 229 College Street, which is known historically as Oddfellows Hall (1912), as well as the institutional edifices on the University of Toronto's St. George Campus, opposite.

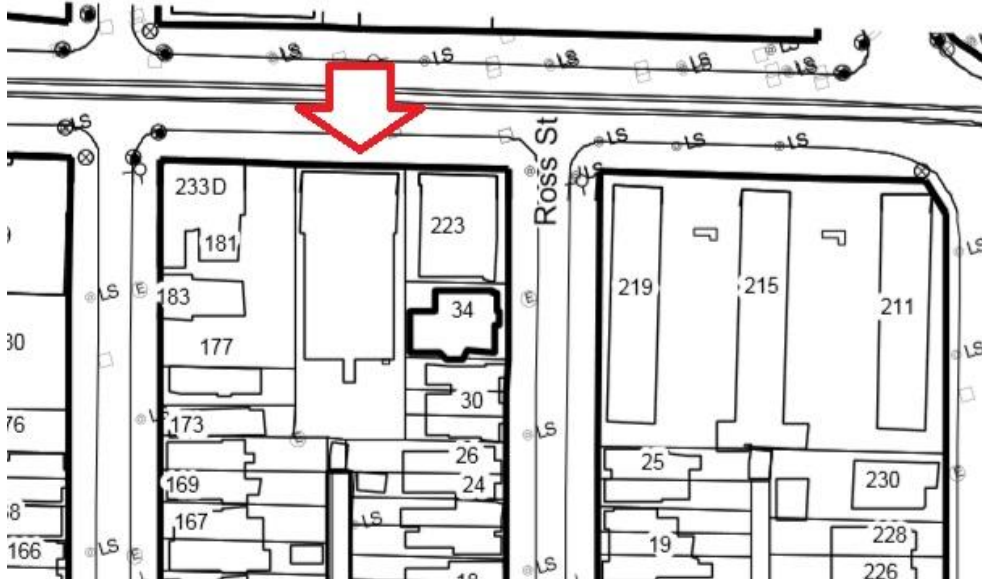
Heritage Attributes

The heritage attributes of the building at 223 College Street are:

- The setback, placement and orientation of the building on the southwest corner of Ross Street
- The scale, form and massing of three-storey building above the raised stone base with the window openings

- The flat roofline with the stone coping, the brick parapet with the stone panel (north), and the cornice with the dentils and brackets
- The materials with the brick cladding and the brick, stone, and wood detailing, including on the north and east elevations the stone band course above the base and the stone cornice separating the openings in the second and third floors
- On the north elevation facing College Street and the east elevation on Ross Street, the flat-headed entrances with the transoms that are placed in stone surrounds with classical detailing
- The fenestration on the north and east elevations, consisting of the round-arched openings with stone surrounds and corbelled sills in the first (ground) floor, and the flat-headed openings with the stone surrounds in the upper stories
- The classical detailing with the stone cartouche on the north elevation, and the stone shield motifs on the north and east elevations
- The west elevation, which is viewed from College Street, and the rear (south) elevation, which is viewed from Ross Street, where the fenestration is continued from the north and east elevations

LOCATION MAP AND PHOTOGRAPH: 229 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 229 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 229 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 229 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between Ross and Huron streets, the property at 229 College Street contains a five storey commercial building known historically as Oddfellows Hall, which was completed in 1912 according to the plans of architect H. G. Paull.

Statement of Significance

The property at 229 College Street has design value as a commercial building dating to the World War I era and designed in the Edwardian Classical style that was popularized during that era. The building is particularly distinguished by its classical embellishments that include the elaborate stone cornice, the entrance porch (north), and the decorative detailing highlighting and separating the window openings.

Contextually, the property at 229 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street, east of Spadina Avenue, which evolved from its origins as a residential district to one welcoming institutional and commercial buildings with heights that reflected the "tall building" boom in Toronto during the early 20th century.

The building at 229 College Street is historically, visually and physically linked to its corner setting where in its scale and appearance it complements the adjoining commercial building at 223 College Street, which is known historically as the National Sanatorium Association Building (1914), as well as the institutional edifices on the University of Toronto's St. George campus, opposite.

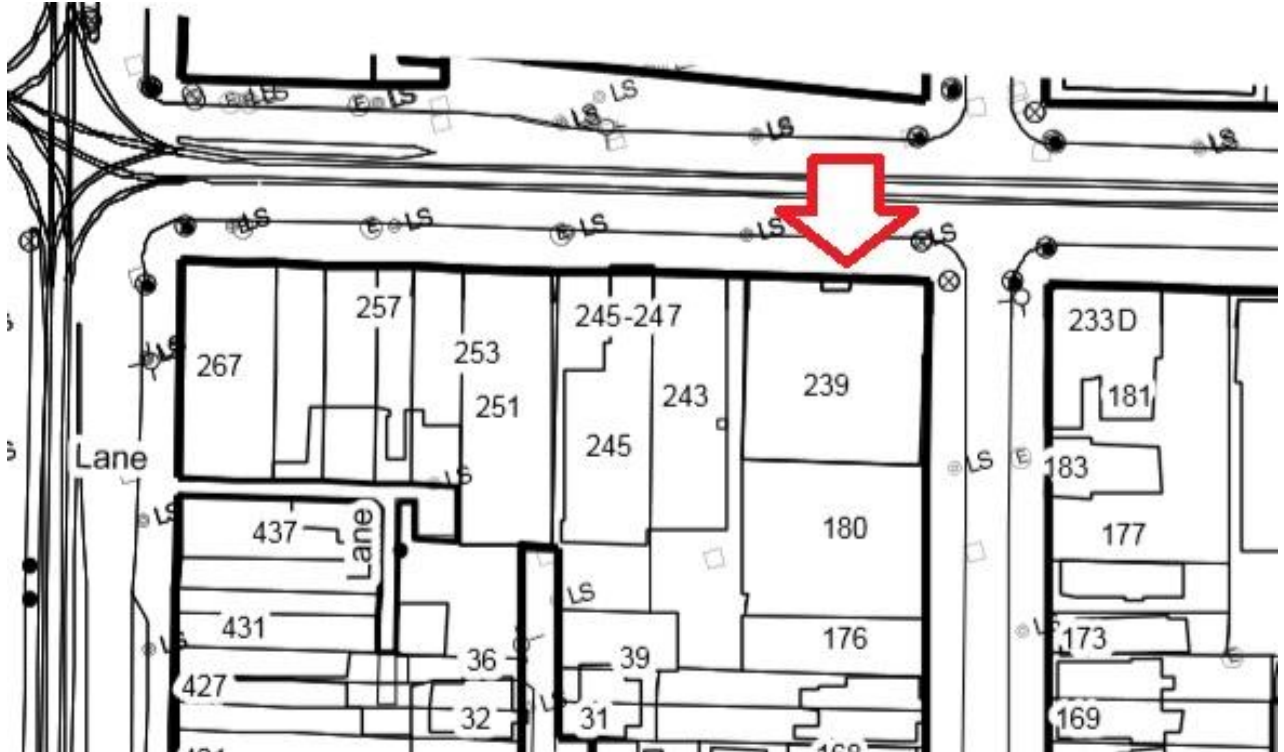
Heritage Attributes

The heritage attributes of the building at 229 College Street are:

- The setback, placement and orientation of the building on the south side of the street between Ross and Huron streets
- The scale, form and massing of five-storey building above the raised stone base with the window openings

- The flat roofline with the stone cornice with the brackets and, on the north elevation, the brick parapet incorporating a segmental-arched pediment
- The materials with the brick cladding and the brick, stone, and wood detailing
- The principal (north) elevation, which is divided into three bays by stone quoins, where the main entrance is protected by an open stone porch with classical detailing and flanked by trios of flat-headed window openings with transoms, stone keystones and continuous corbelled stone sills
- On the north elevation, the trios of flat-headed window openings in the second, third and fourth floors with the stone keystones and sills, which are separated by brick piers with stone bands and surmounted by medallions with keystones, and the flat-headed window openings in the fifth storey with the continuous corbelled stone sills and the separate transoms set in stone surrounds
- The east and west side elevations, which are viewed from College Street, and have flat-headed window openings with stone detailing
- On the south end where it is viewed from College Street, the four-storey rear wing with the brick cladding, piers and fenestration

LOCATION MAP AND PHOTOGRAPH: 239 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 239 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 239 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 239 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the southwest corner of Huron Street, the property at 239 College Street contains a four-storey institutional building containing the Lillian Smith Branch of the Toronto Public Library, which was completed in 1995 according to the plans of Toronto architect Phillip Carter.

Statement of Significance

The property at 239 College Street has design value as an institutional building with features of the postmodern style of the late 20th century, which was identified by the exaggerated ornamentation borrowed from historical architecture that represented a reaction against the International style. With its distinctive geometrical detailing, metal roof and mixture of window shapes and sizes, the library is particularly distinguished by the detailing on the north elevation on College Street with the oversized round-arched entrance surround and the large cast-metal sculptures depicting winged mythological creatures.

Contextually, the property at 239 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street, east of Spadina Avenue, which evolved from its origins as a residential district to one welcoming institutional and commercial buildings with scales and setbacks respecting those in place along the historical thoroughfare.

The building at 239 College Street is historically, visually and physically linked to its corner setting where in its scale and appearance it complements the adjoining Temple-Pattison Company Building (1913) at 243 College Street, as well as the institutional edifices on the University of Toronto's St. George campus, opposite.

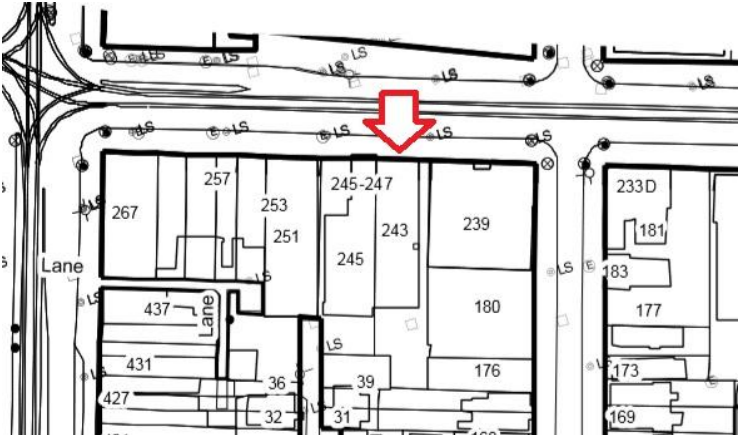
Heritage Attributes

The heritage attributes of the building at 239 College Street are:

- The setback, placement and orientation of the building on the southwest corner of Huron Street

- The scale, form and massing of four-storey building with the square-shaped plan
- The hipped roof covering the building and the projecting pavilions (north), with the metal cladding and, on the east slope, the round dormers
- The materials with the polychromatic brick cladding and the brick, stone and metal detailing, including the geometrical patterns beneath the rooflines on the north, east and south elevations, the cast-metal sculptures flanking the north entrance, and the brick band courses (including those on the west elevation)
- The principal (north) elevation, which is organized into three parts with projecting pavilions that flank the main entrance, which is recessed in a monumental round-arched surround beneath a fully-glazed vertical window opening
- On the north pavilions and the east side elevation of the main body of the structure, the flat-headed window openings, which are symmetrically placed and range in shape and size from square to vertical
- The oversized segmentally-arched door opening on the east elevation
- The rear (south) elevation, which is viewed from Huron Street, with the fenestration that includes the oversized segmental-arched opening
- The west elevation, which is viewed from College Street

LOCATION MAP AND PHOTOGRAPH: 243 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 243 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 243 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 243 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between Huron Street and Spadina Avenue, the property at 243 College Street contains a five-storey commercial building that was completed in 1913 according to the plans of architects Denison and Stephenson and originally occupied by the Temple-Pattison Company.

Statement of Significance

The property at 243 College Street has design value as a commercial building from the World War I era with the Edwardian Classical styling popular during that period. It is particularly distinguished by the tripartite design with the stone clad first storey, the shaft with the piers and geometrical detailing, and the stepped roofline with the pediments and stone facing.

Contextually, the property at 243 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street, east of Spadina Avenue, which evolved from its origins as a residential district to one welcoming institutional and commercial buildings with heights that reflected the "tall building" boom in Toronto during the early 20th century.

The building at 243 College Street is historically, visually and physically linked to its corner setting where in its scale and appearance it complements the adjoining Lillian Smith Branch (1995) of the Toronto Public Library at 239 College Street, as well as the institutional edifices on the University of Toronto's St. George campus, opposite.

Heritage Attributes

The heritage attributes of the building at 243 College Street are:

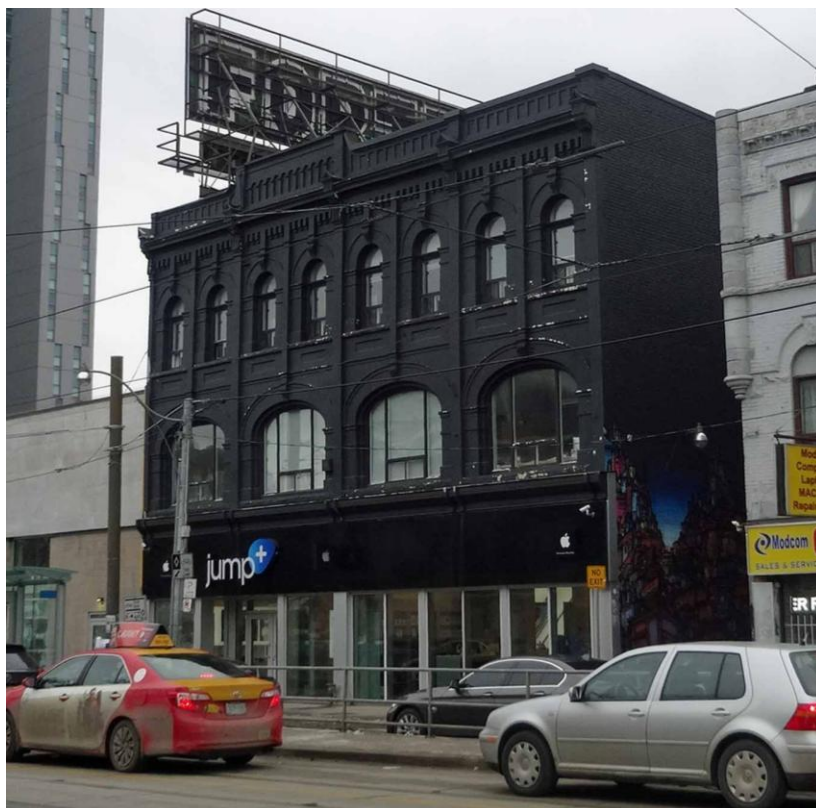
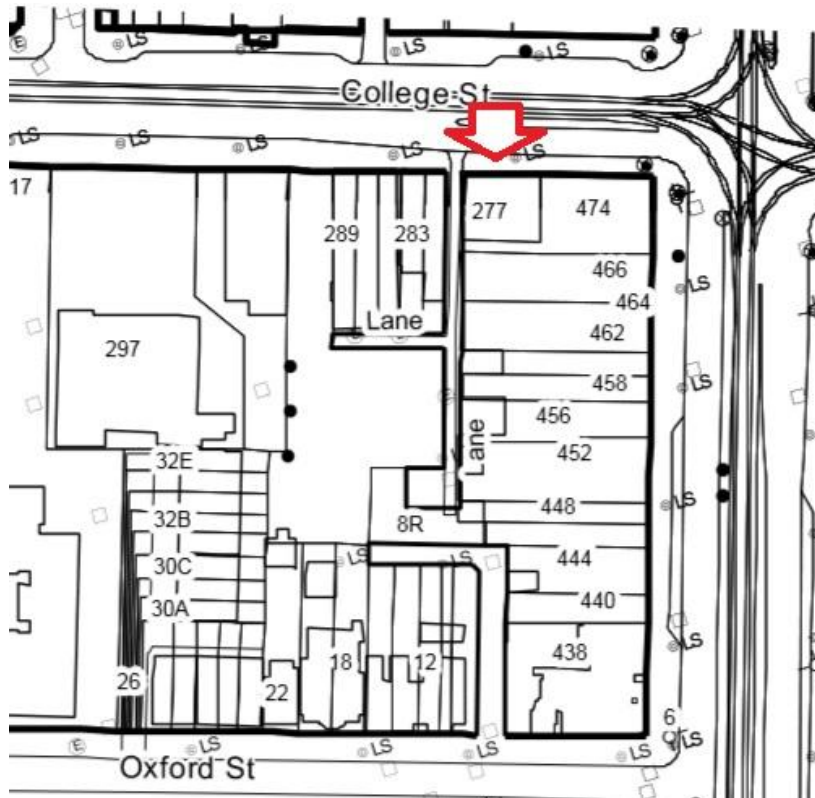
- The setback, placement and orientation of the building on the south side of the street, west of Huron Street
- The scale, form and massing of five-storey building with the rectangular-shaped plan above the base with the flat-headed window openings (north)
- The stepped roofline with the parapet and stone cladding

- The materials with the brick cladding and the brick and stone detailing, including the stone shield motifs in the first (ground) floor
- The principal (north) elevation, which features the classical tripartite arrangement with the stone-clad first (ground) floor where the main entrance is placed in a flat-headed surround in the west (right) bay, the three-storey shaft that is organized by the brick piers, and the attic (fifth floor) with the stone banding
- On the north elevation, the fenestration with the segmental-arched openings separate by brick and stone piers in the first floor, the flat-headed openings with the stone labels and sills in the second through the fourth stories, the segmental-arched openings with the brick voussoirs and stone keystones in the fifth floor, and the spandrels with the geometrical stone detailing and brick chevron patterns
- The east and west elevations, which are viewed from College Street

Note: no heritage attributes are identified on the rear (south) elevation.

LOCATION MAP AND PHOTOGRAPH: 271 COLLEGE STREET

(including the entrance addresses at 273, 275, 277 and 279 College Street)



STATEMENT OF SIGNIFICANCE: 271 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 271 College Street (including the entrance addresses at 273, 275, 277 and 279 College Street) is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 271 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between Spadina and Augusta avenues, the property at 271 College Street contains a three-storey commercial building that was first recorded in 1890 in the City Directory when a jeweller and grocer were amongst the first occupants.

Statement of Significance

The property at 271 College Street has design value as a late 19th century commercial building with detailing from the popular architectural styles of the Victorian era, including the Italianate and Renaissance Revival. It is distinguished by its fenestration and extensive corbelled brickwork.

Contextually, the property at 271 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare.

The building at 271 College Street is historically, visually and physically linked to its setting in the block on the south side of the street between Spadina and Augusta avenues where, directly west, the Alexandrina Block (1887) at 281-289 College Street is listed on the City of Toronto's Heritage Register.

Heritage Attributes

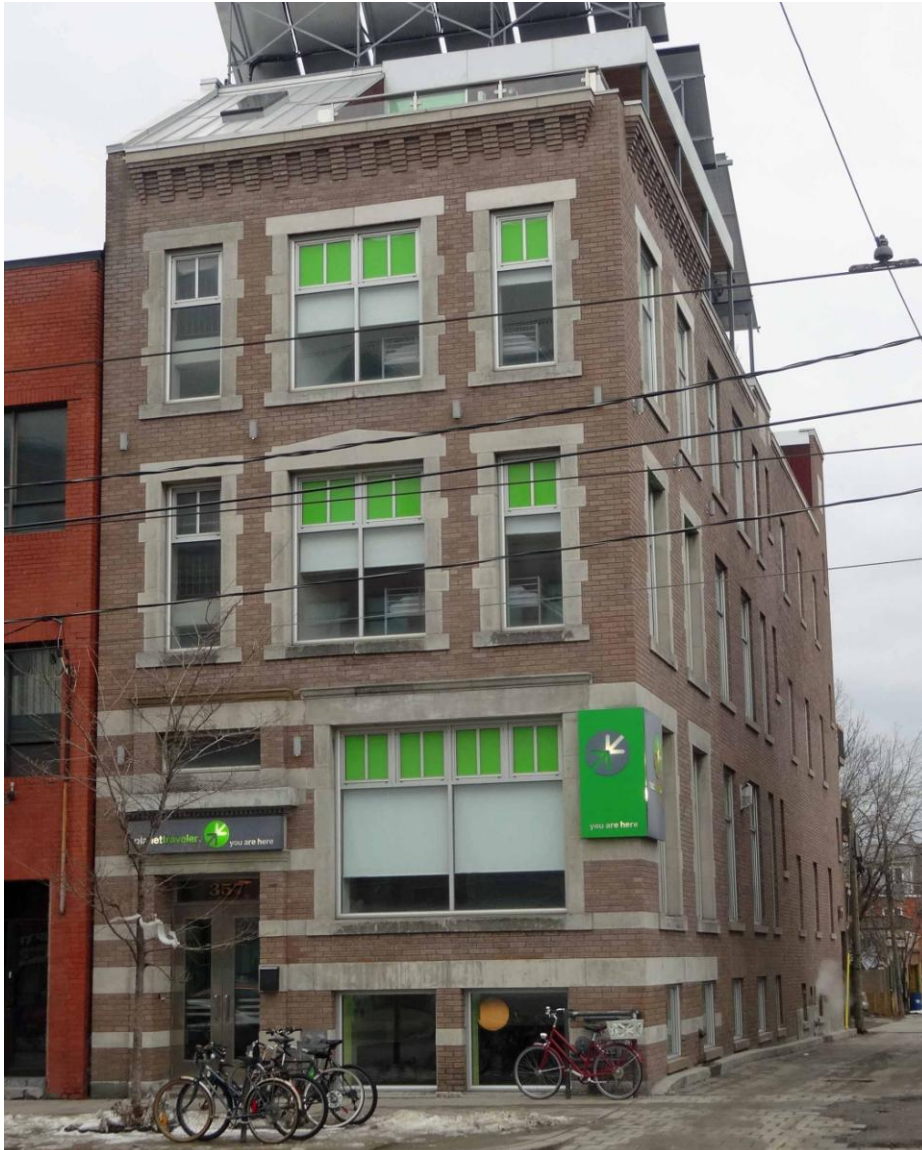
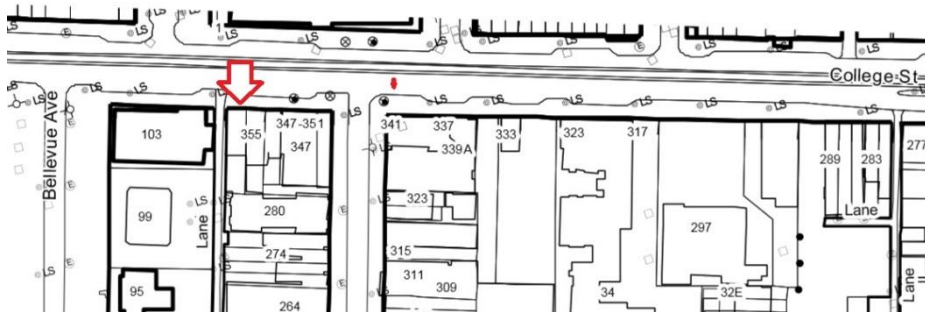
The heritage attributes of the building at 271 College Street are:

- The setback, placement and orientation of the building on the south side of the street between Spadina and Augusta avenues
- The scale, form and massing of the three-storey rectangular-shaped plan
- The flat roofline with the parapet and the corbelled brickwork

- The materials with the brick cladding and the brick and stone detailing (the brickwork has been painted)
- The principal (north) elevation, which is organized into four bays above the first (ground) floor storefronts (which have been altered)
- On the north elevation, the round-arched window openings, with the single oversized openings in the second storey, the pairs in the third floor, and the brick and stone detailing
- The west side elevation, which is viewed from College Street and is devoid of openings

Note: the east side elevation adjoins the neighbouring building. No heritage attributes are identified on the rear (south) elevation.

LOCATION MAP AND PHOTOGRAPH: 357 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 357 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 357 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 357 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the south side of the street between Augusta and Bellevue avenues, the property at 357 College Street contains a three-storey commercial building that was completed in 1915 according to the plans of Toronto architect H. G. Paull and first occupied by the College Press Limited.

Statement of Significance

The property at 357 College Street has design value as a commercial building from the World War I era with detailing from the Edwardian Classical style popularized during that period. The building is particularly distinguished by the tripartite design of the north elevation, with the stone bands on the base, the quoined window surrounds on the shaft, and the corbelled brickwork beneath the north and west rooflines.

Contextually, the property at 357 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare. The College Press Limited Building represents the evolution of the street in the early 20th century.

The building at 357 College Street is historically, visually and physically linked to its setting in the block on the south side of the street in the short block between Augusta and Bellevue avenues. It is separated by a laneway from the landmark Church of St. Stephen-in-the-Fields (1865), which is a local landmark at 103 Bellevue Avenue and is designated under Part IV, Section 29 of the Ontario Heritage Act.

Heritage Attributes

The heritage attributes of the building at 357 College Street are:

- The setback, placement and orientation of the building on the south side of the street between Augusta and Bellevue avenues
- The scale, form and massing of the three-storey rectangular-shaped plan

- The flat roofline with the corbelled brickwork that extends across the north and part of the west elevations (the rooftop additions are not identified as heritage attributes)
- The materials with the brick cladding and the brick and stone detailing that includes the stone band courses in the first (ground) floor and the quoined stone surrounds on the windows in the upper stories
- On the principal (north) elevation, the placement of the main entrance in the left (east) bay in a flat-headed surround with a separate transom beside an oversized flat-headed window opening
- On the north elevation, the fenestration in the upper floors where single flat-headed openings flank two-part openings
- The west side elevation, which is viewed from College Street and the laneway continues the fenestration and detailing from the north elevation

Note: the east elevation adjoins the neighbouring building. No heritage attributes are identified on the rear (south) elevation.

ATTACHMENT 3

LOCATION MAPS, PHOTOGRAPHS AND STATEMENTS OF SIGNIFICANCE (REASONS FOR INCLUSION) FOR COLLEGE STREET PROPERTIES, **NORTH SIDE**

280 College Street

288 College Street (including the entrance address at 284 College Street)

356 College Street (including the entrance address at 8 and 8A Brunswick Avenue)

372 College Street

376, 378 and 380 College Street (including the entrance address at 3 Borden Street)

382, 386 and 388 College Street (including the entrance address at 384 College Street)

396 College Street

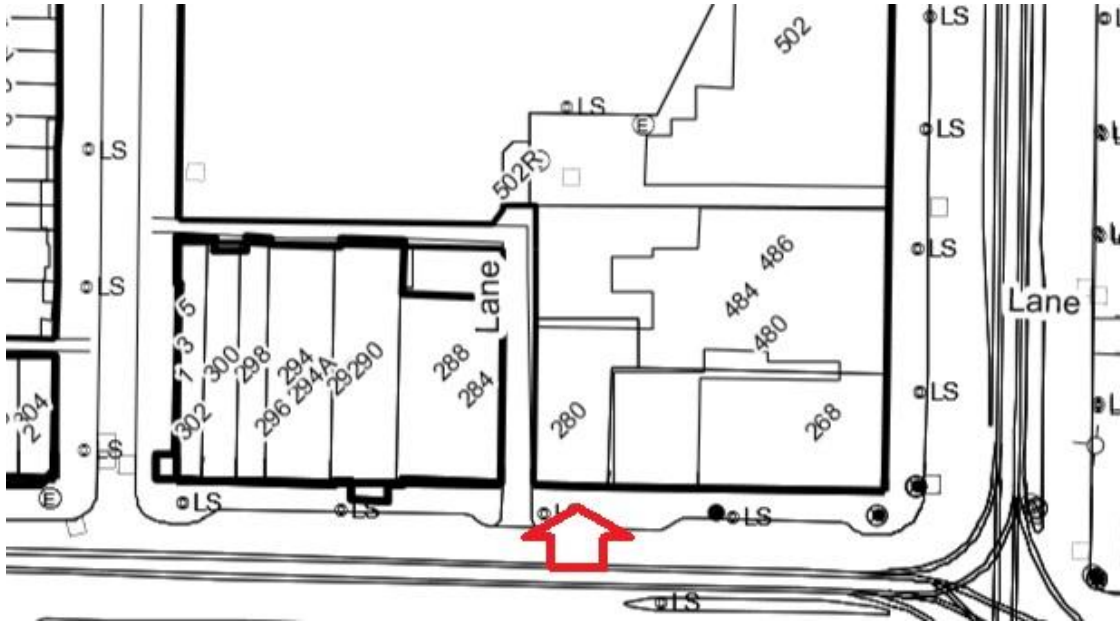
398, 402 and 404 College Street (including the entrance address at 400 College Street)

414, 418 and 420 College Street (including the entrance address at 416 College Street)

The following location maps are for information purposes only; the exact boundaries of the properties are not shown. On each map, the arrow marks the location of the subject property.

Attached photographs, Heritage Preservation Services, 2018.

LOCATION MAP AND PHOTOGRAPH: 280 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 280 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 280 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 280 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the north side of the street between Spadina Avenue (east) and Robert Street (west), the property at 280 College Street contains a three-storey commercial building that was first recorded in 1887 in the City Directory as "unfinished stores," which were occupied the next year by a butcher and grocer.

Statement of Significance

The property at 280 College Street has design value as a late 19th century commercial building with detailing from the popular architectural styles of the Victorian era, including the Italianate and Renaissance Revival. It is distinguished by its decorative brickwork with its dentilled brickwork and brackets anchoring the south roofline.

Contextually, the property at 280 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare.

The building at 280 College Street is historically, visually and physically linked to its setting in the block on the north side of the street between Spadina Avenue and Robert Street where it is adjoined by other late 19th and early 20th century commercial buildings that share its scale and setback.

Heritage Attributes

The heritage attributes of the building at 280 College Street are:

- The setback, placement and orientation of the building on north side of the street between Spadina Avenue and Robert Street
- The scale, form and massing of the three-storey rectangular-shaped plan
- The flat roofline with the brackets anchoring the south end

- The materials with the brick cladding and the brick and stone detailing, including the dentils beneath the south roofline (the brickwork has been painted)
- The principal (south) elevation, which is organized into five bays above the first (ground) floor storefronts (which have been altered)
- On the south elevation, the flat-headed window openings in the second storey and the round-arched window openings in the third storey, which are framed by brick piers and have brick and stone detailing
- The east side elevation, which is viewed from College Street, and the west side elevation, which is viewed from the laneway

Note: no heritage attributes are identified on the rear (north) elevation.

LOCATION MAP AND PHOTOGRAPH: 288 COLLEGE STREET

(including the entrance address at 284 College Street)



STATEMENT OF SIGNIFICANCE: 288 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 288 College Street (including the entrance address at 284 College Street) is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 288 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the north side of the street between Spadina Avenue (east) and Robert Street (west), the property at 288 College Street contains a three-storey commercial building that was first recorded in 1937 in the City Directory, with the York Furniture Company as the original tenant.

Statement of Significance

The property at 288 College Street has design value as a commercial building from the interwar period that is distinguished by its Art Deco styling as evidenced by the curved south roofline with the geometrical decoration.

Contextually, the property at 288 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare. The York Furniture Company Building represents the evolution of this section of College Street in the early 20th century.

The building at 288 College Street is historically, visually and physically linked to its setting in the block on the north side of the street between Spadina Avenue and Robert Street where it is adjoined by other late 19th and early 20th century commercial buildings that share its scale and setback, including the buildings known historically as the Alfred Hawes Amusements Buildings at 290-292 College Street, which are listed on the City of Toronto's Heritage Register.

Heritage Attributes

The heritage attributes of the building at 288 College Street are:

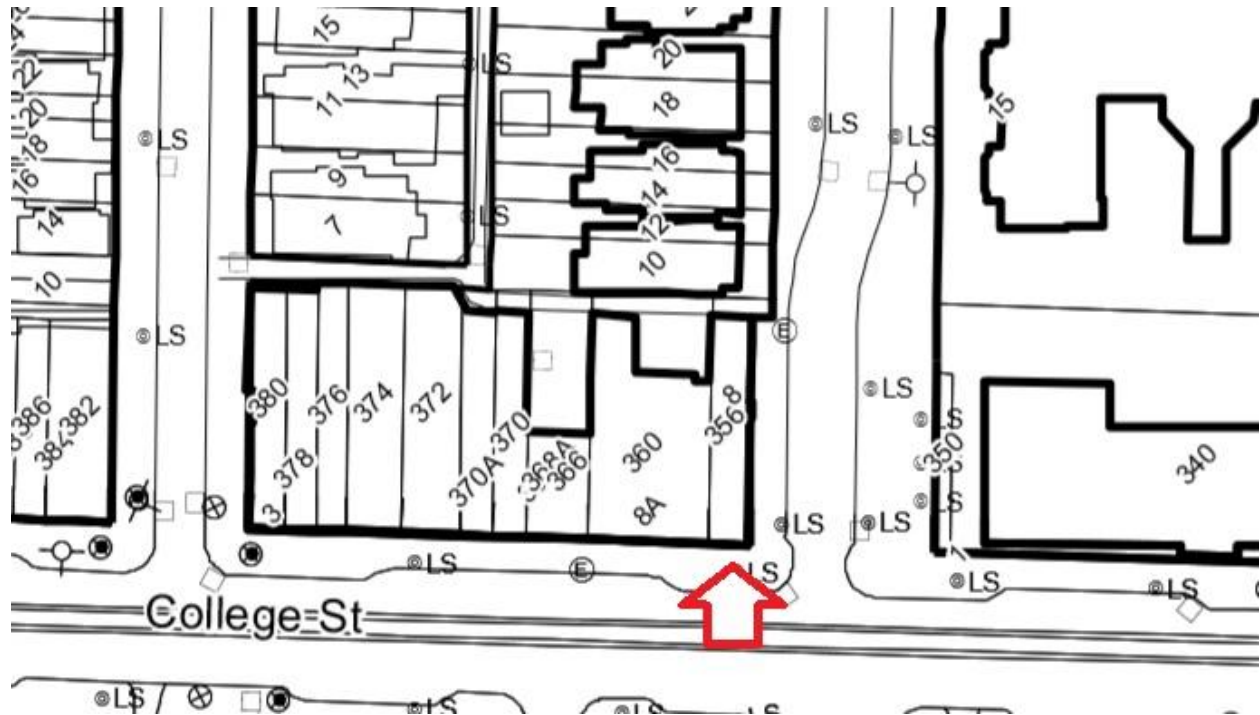
- The setback, placement and orientation of the building on north side of the street between Spadina Avenue and Robert Street
- The scale, form and massing of the two-storey rectangular-shaped plan

- The flat roofline with the geometrical stone detailing along the south end
- The materials, with the brick cladding and the brick and stone detailing
- The principal (south) elevation where, above the first (ground) floor storefronts with the central entrance, the second storey has oversized flat-headed window openings and stone detailing (the storefronts have been altered)
- The east side elevation, which is viewed from the laneway

Note: the west side elevation adjoins the neighbouring building. No heritage attributes are identified on the rear (north) elevation.

LOCATION MAP AND PHOTOGRAPH: 356 COLLEGE STREET

(including the entrance addresses at 8 and 8A Brunswick Avenue)



STATEMENT OF SIGNIFICANCE: 356 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 356 College Street (including the entrance addresses at 8 and *8A Brunswick Avenue) is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 356 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the northwest corner of Brunswick Avenue, the property at 356 College Street contains a three-storey commercial building that was first recorded in 1893 in the City Directory when it was described as "unfinished", prior to its occupancy by a grocer the following year.

Statement of Significance

The property at 356 College Street has design value as a late 19th century commercial building with detailing from the popular architectural styles of the Victorian era, including the Italianate and Renaissance Revival. With its corner setting and extended elevation along Brunswick Avenue, the building is further distinguished by its corbelled brickwork and stone trim.

Contextually, the property at 356 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare.

The building at 356 College Street is historically, visually and physically linked to its setting anchoring the east end of the block between Brunswick Avenue and Borden Street, where it is adjoined by other late 19th and early 20th century commercial buildings that share its scale and setback.

Heritage Attributes

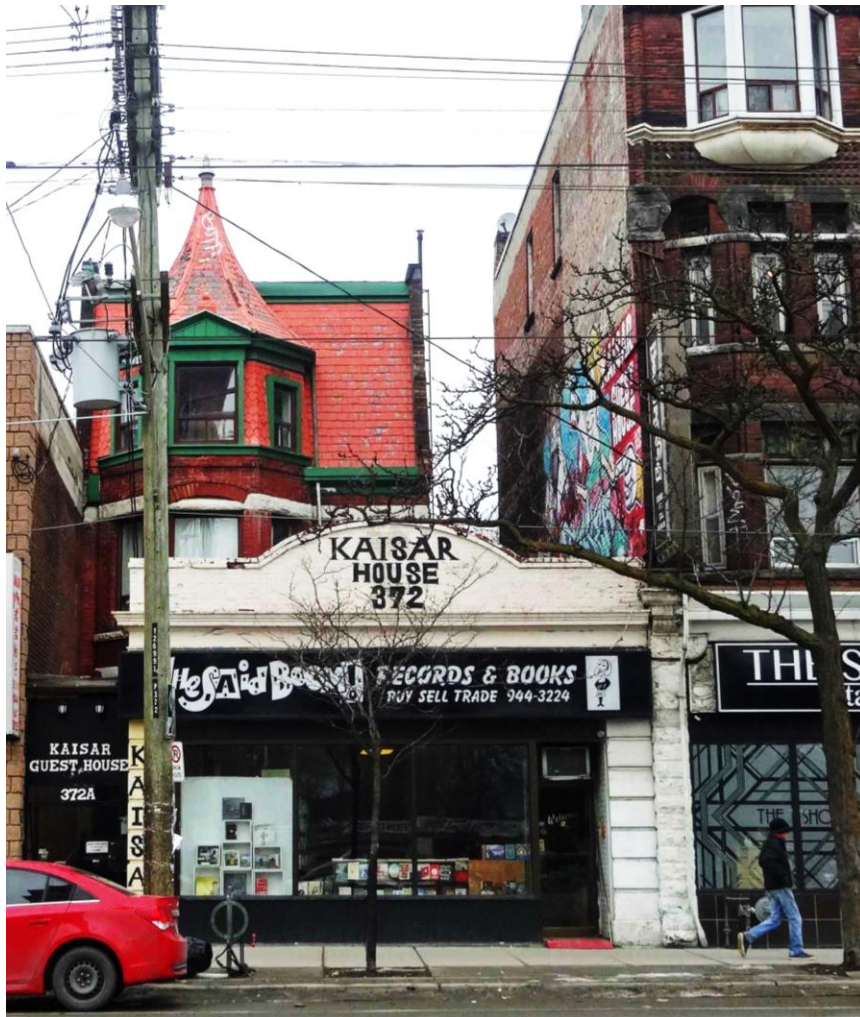
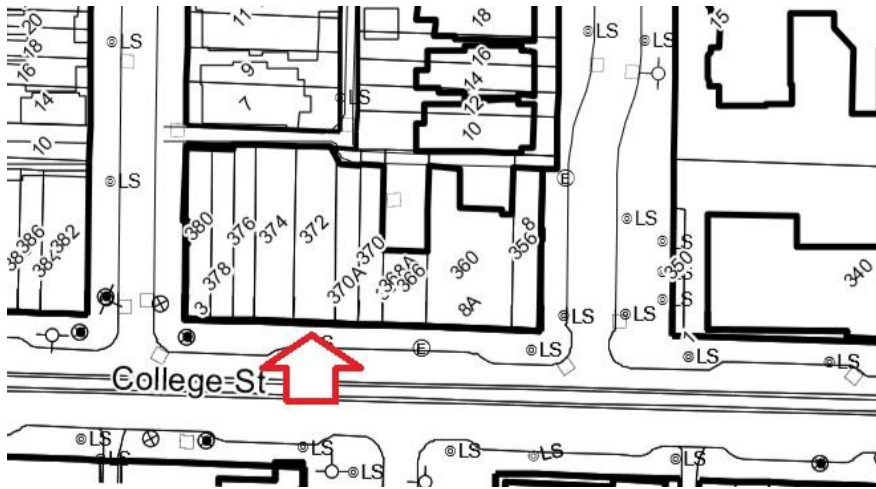
The heritage attributes of the building at 356 College Street are:

- The setback, placement and orientation of the building on the northwest corner of Brunswick Avenue
- The scale, form and massing of the three-storey rectangular-shaped plan
- The flat roofline

- The materials with the brick cladding and the brick and stone detailing
- On the principal (south) elevation and the east side elevation, above the first (ground) floor storefronts (which have been altered), the fenestration with the flat-headed openings, the shallow three-storey bay windows on the east elevation, the continuous stone band courses and sills, and the corbelled brickwork beneath the window openings and along the south and east rooflines

Note: the west side elevation adjoins the neighbouring building. While viewed from Brunswick Avenue, no heritage attributes are identified on the rear (north) elevation, which has been altered.

LOCATION MAP AND PHOTOGRAPH: 372 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 372 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 372 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 372 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the north side of the street, midway between Brunswick Avenue and Borden Street, the property at 372 College Street contains a 2½-storey house form building that originated as the east half of a pair of semi-detached houses that were first recorded in 1887 on the City Directory. The building at 372 College Street was later converted for commercial uses with a single-storey addition that extended south to share the setback of the neighbouring buildings.

Statement of Significance

The property at 372 College Street has design value as a surviving late 19th century house form building on College Street that displays detailing from architectural styles popularized in the late 19th century, including the Second Empire and Queen Anne Revival style as indicated by the mansard roof and the distinctive bay window with the shingled cladding and the conical roof.

Contextually, the property at 372 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings, as well as house form buildings converted for commercial purposes, which set the standard for the scale and setbacks along the thoroughfare.

The building at 372 College Street is historically, visually and physically linked to its setting on the north side of the street midway between Brunswick Avenue and Borden Street, where it is adjoined to the east by a group of late 19th century commercial buildings that share its scale and setback.

Heritage Attributes

The heritage attributes of the building at 372 College Street are:

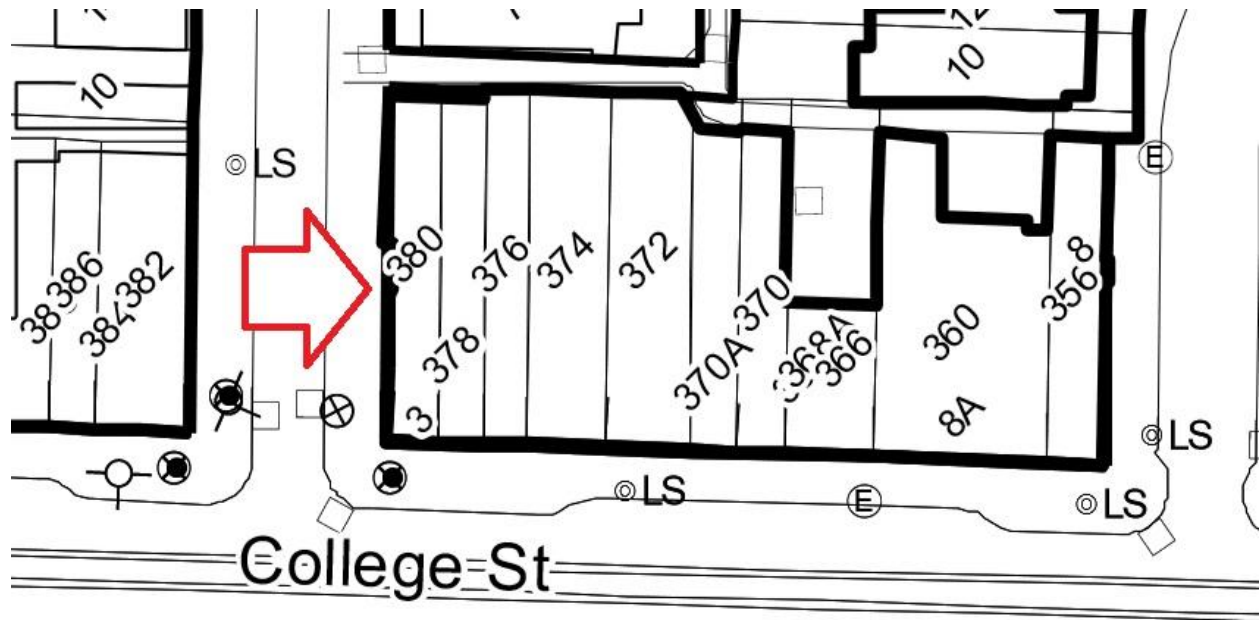
- The setback, placement and orientation of the building on the north side of the street between Brunswick Avenue and Borden Street
- The scale, form and massing of the 2½-storey plan

- The mansard roof with the three-sided dormer window with the conical roof on the south slope
- The materials with the brick cladding and the brick, stone and wood detailing
- On the principal (south) elevation, above the first (ground) floor commercial addition, the two-storey bay window with the brick and stone detailing and, in the attic level, the shingled cladding beneath the conical roof

Note: the east and west side elevations adjoin the neighbouring buildings. The rear (north) wall and extensions are not identified as heritage attributes.

LOCATION MAP AND PHOTOGRAPH: 376, 378 AND 380 COLLEGE STREET

(including the entrance address at 3 Borden Street)



STATEMENT OF SIGNIFICANCE: 376, 378 and 380 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 376, 378 and 380 College Street (including the entrance address at 3 Borden Street) are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 376, 378 and 380 College Street were identified for their potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the northeast corner of Borden Street, the properties at 376, 378 and 380 College Street contain a three-part group of three-storey commercial buildings that was first recorded in 1887 in the City Directory when a confectionary, dry goods store and grocer were the first occupants.

Statement of Significance

The properties at 376, 378 and 380 College Street have design value as a late 19th century commercial row with detailing from the popular architectural styles of the Victorian era. With their corner setting and the continuation of the decorative detailing from the south elevations to the west elevation of 380 College, the buildings are further distinguished by their corbelled brickwork and band courses.

Contextually, the properties at 376, 378 and 380 College Street are valued for their roles in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare.

The buildings at 376, 378 and 380 College Street are historically, visually and physically linked to their setting anchoring the west end of the block between Brunswick Avenue and Borden Street where other late 19th and early 20th century commercial buildings share their scale and setback.

Heritage Attributes

The heritage attributes of the buildings at 376, 378 and 380 College Street are:

- The setback, placement and orientation of the buildings on the northeast corner of Borden Street
- The scale, form and massing of the three-storey rectangular-shaped plans

- The flat rooflines, with the corbelled brickwork beneath the south rooflines that wraps around the west end of the building at 380 College Street
- The materials with the brick cladding and the brick and stone detailing (the brickwork on 376 and 380 College has been painted)
- On the principal (south) elevations of all of the buildings, and the west elevation of 380 College Street, above the first (ground) floor storefronts (which have been altered), the symmetrically-organized window openings with the brick voussoirs, the stone sills and corner blocks, and the brick band courses
- On the building at 380 College, the cornice and band course above the first-floor storefront (south)

Note: the east side elevation of 376 College Street adjoins the neighbouring building. No heritage attributes are identified on the rear (north) elevations and wings, which are viewed from Borden Street.

LOCATION MAP AND PHOTOGRAPH: 382, 386 AND 388 COLLEGE STREET

(including the entrance address at 384 College Street)



STATEMENT OF SIGNIFICANCE: 382, 386 and 388 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 382, 386 and 388 College Street (including the entrance address at 384 College Street) are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 382, 386 and 388 College Street were identified for their potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the northwest corner of Borden Street, the properties at 382, 386 and 388 College Street contain a group of four 2 1/2-storey commercial buildings that was first recorded in 1886 in the City Directory when two of the units were described as "unfinished stores." Although the group has the appearance of house form buildings, the original occupants in the storefronts were a butcher, shoe maker, grocer, and the proprietor of a fancy goods business.

Statement of Significance

The properties at 382, 386 and 388 College Street have design value as a late 19th century commercial row with detailing from the popular architectural styles of the Victorian era, including the Gothic Revival and Italianate. With their corner setting and the continuation of the decorative detailing from the south elevations to the east elevation of 382 College Street, the buildings are further distinguished by their gabled frontispieces, canted corners and decorative woodwork.

Contextually, the properties at 382, 386 and 388 College Street are valued for their roles in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare.

The buildings at 382, 386 and 388 College Street are historically, visually and physically linked to their setting anchoring the west end of the block between Borden and Croft streets where other late 19th and early 20th century commercial buildings share their scale and setback.

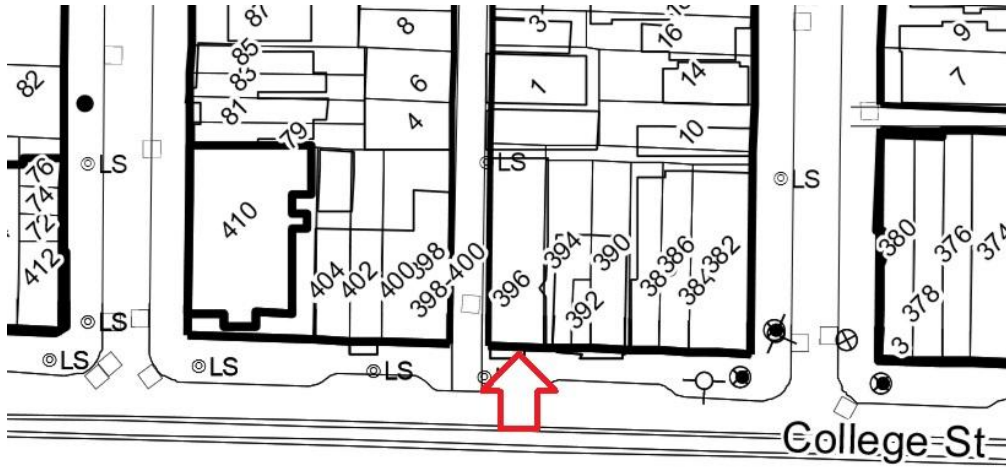
Heritage Attributes

The heritage attributes of the buildings at 382, 386 and 388 College Street are:

- The setback, placement and orientation of the buildings on the northwest corner of Borden Street
- The scale, form and massing of the 2½-storey rectangular-shaped plans
- The gable roofs with the wood brackets and, on the corner building at 382 College, the returned eaves
- The materials with the brick cladding and the brick, stone and wood detailing
- The principal (south) elevations, which are organized into pairs as mirror images with central gabled frontispieces with segmental-arched window openings in the second storey, the round-arched openings in the half storey, and the brick flat arches and stone sills
- On the south elevations, above the first (ground) floor storefronts (which have been altered), the canted corners in the second storey with the window openings
- The east elevation of 382 College Street on Borden Street, with the flat-headed openings in the first floor, the segmental-arched openings in the second storey, the round-arched openings in the attic level, and the brick and stone detailing that is continued from the south elevation

Note: the west side elevation of 388 College Street adjoins the neighbouring building. No heritage attributes are identified on the rear (north) elevations and wings, which are viewed from Borden Street.

LOCATION MAP AND PHOTOGRAPH: 396 COLLEGE STREET



STATEMENT OF SIGNIFICANCE: 396 COLLEGE STREET (REASONS FOR INCLUSION)

The property at 396 College Street is worthy of inclusion on the City of Toronto's Heritage Register for its cultural heritage value, and meets Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the property meets the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The property at 396 College Street was identified for its potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the northeast corner of Croft Street (originally Ulster Street), the property at 396 College Street contains a three-storey commercial building that was completed in 1922 according to the designs of Toronto architect H. G. Paull for A. W. Miles, the notable Toronto undertaker. The site was first developed in 1891 with a house form building and, following its occupancy by the funeral home in 1905, it was redeveloped in a series of stages and built out to College Street by 1923 when it was illustrated on Goad's Atlas.

Statement of Significance

The property at 396 College Street has design value as a commercial building from the interwar era with detailing from the popular Edwardian Classical style of the period, which is identified by the exaggerated classical detailing on the window openings.

Contextually, the property at 396 College Street is valued for its role in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare. The subject building reflects the evolution of College Street in the early 20th century as the location of larger structures, including the warehouse on the south side of the street (355 College) near Bellevue Avenue.

The building at 396 College Street is historically, visually and physically linked to its setting anchoring the west end of the block between Borden and Croft streets, where it is adjoined by other late 19th and early 20th century commercial buildings that share its scale and setback.

Heritage Attributes

The heritage attributes of the building at 396 College Street are:

- The setback, placement and orientation of the building on the northeast corner of Croft Street

- The scale, form and massing of the three-storey rectangular-shaped plan
- The stepped roofline (the cornice on the south end has been replaced)
- The materials with the brick cladding and the brick and stone detailing
- On the principal (south) elevation, above the first (ground) floor storefronts (which have been altered), the flat-headed window openings in the upper stories where brick and stone is applied for the voussoirs, quoins and sills
- The west side elevation on Croft Street, where the fenestration includes an oriel window

Note: the east side elevation adjoins the neighbouring building. No heritage attributes are identified on the rear (north) elevation or the wings (the latter may incorporate part of the original house form building, but its integrity has been impacted by changes over time).

LOCATION MAP AND PHOTOGRAPH: 398, 402 AND 404 COLLEGE STREET

(including the entrance address at 400 College Street)



STATEMENT OF SIGNIFICANCE: 398, 402 and 404 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 398, 402 and 404 College Street (including the entrance address at 400 College Street) are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 398, 402 and 404 College Street were identified for their potential cultural heritage value in the College Street Study adopted by the City of Toronto in 2017.

Located on the northwest corner of Croft Street (formerly Ulster Street), the properties at 398, 402 and 404 College Street contain a four-part group of three-storey commercial buildings that was first recorded in 1912 in the City Directory when the first occupants included an amusements parlour and a fruit seller. Although the row has been altered overtime, it still retains its integrity and communicates its cultural heritage values and attributes.

Statement of Significance

The properties at 398, 402 and 404 College Street have design value as a commercial row from the interwar era that, while altered, retains its architectural integrity and anchors the corner of Croft Street where it adjoins the building redeveloped for the A. W. Miles funeral business during the same period.

Contextually, the properties at 398, 402 and 404 College Street are valued for their roles in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare. The buildings at 398, 402 and 404 College Street contribute to evolution of the street during the early 20th century.

The buildings at 398, 402 and 404 College Street are historically, visually and physically linked to their setting on the northwest corner of Croft Street where other late 19th and early 20th century commercial buildings share their scale and setback. They adjoin the building known historically as the College Street Baptist Church (1872), which is a local landmark and listed on the City of Toronto's Heritage Register.

Heritage Attributes

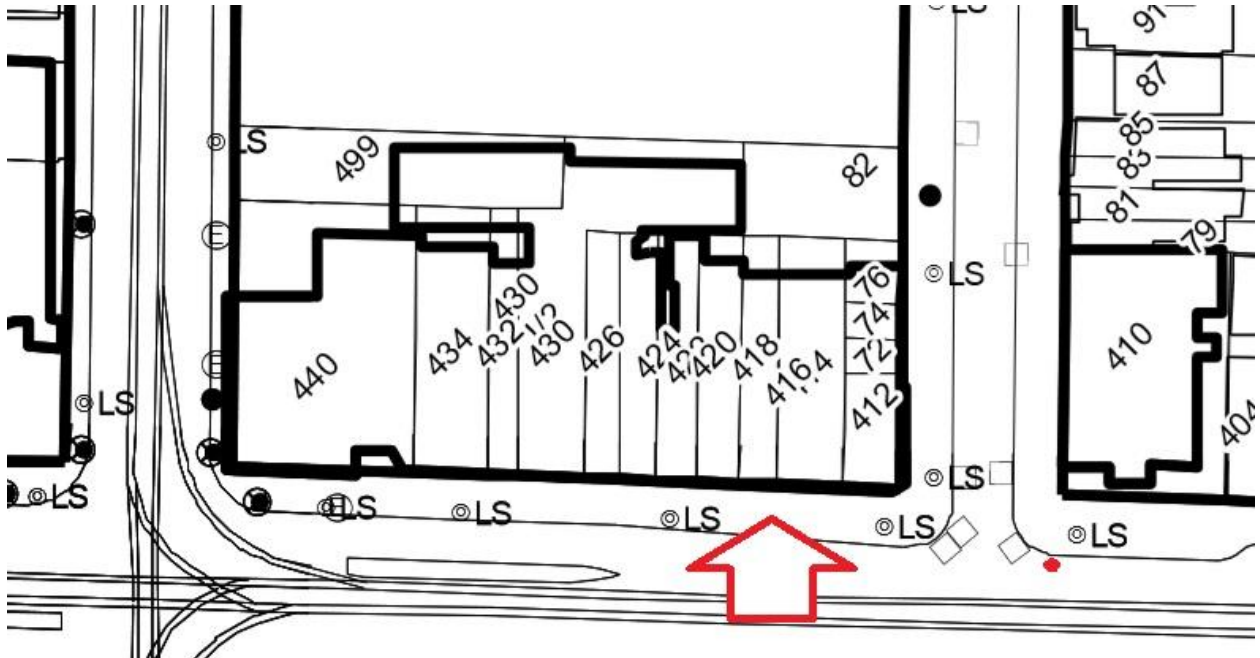
The heritage attributes of the buildings at 398, 402 and 404 College Street are:

- The setback, placement and orientation of the buildings on the northwest corner of Croft Street
- The scale, form and massing of the three-storey rectangular-shaped plans
- The rooflines, with the triangular-shaped pediment surmounting the buildings at 400 and 402 College Street, with the surviving nameplate and finial along the roofline of 402 College (the pediment on 400 College and part of the upper storey of 398 College have been reconstructed)
- The materials with the brick cladding and the brick and stone detailing (the brickwork has been painted, apart from the building at 404 College, which has been stuccoed)
- On the principal (south) elevations of all of the buildings, above the first (ground) floor storefronts (which have been altered), the segmental-arched window openings with the brick flat arches and the stone sills
- The east side elevation of 398 College Street, which faces Croft Street and has symmetrically-placed openings

Note: the west side elevation of 404 College Street adjoins the neighbouring building. The rear (north) elevations and wings are not identified as heritage attributes.

LOCATION MAP AND PHOTOGRAPH: 414, 418 AND 420 COLLEGE STREET

(including the entrance address at 416 College Street)



STATEMENT OF SIGNIFICANCE: 414, 418 and 420 COLLEGE STREET (REASONS FOR INCLUSION)

The properties at 414, 418 and 420 College Street (including the entrance address at 416 College Street) are worthy of inclusion on the City of Toronto's Heritage Register for their cultural heritage value, and meet Ontario Regulation 9/06, the provincial criteria prescribed for municipal designation, which the City also applies for inclusion on its Heritage Register. This assessment indicates that the properties meet the criteria under design and contextual values, and further research may identify additional values, including associations with communities, individuals and architects.

Description

The properties at 414, 418 and 420 College Street were identified for their potential cultural heritage value in the College Street Study Official Plan Amendment adopted by the City of Toronto in 2017.

Located on the north side of the street between Lippincott and Bathurst streets, the properties at 414, 418 and 420 College Street contain a four-part row of three-storey commercial buildings that was first recorded in 1904 in the City Directory when the original occupants included a ladies' tailor and a confectionary. The group was constructed at the same time as the adjoining building at 412 College, and the buildings shared design elements and fenestration.

Statement of Significance

The properties at 414, 418 and 420 College Street have design value as a late 19th century commercial row with detailing from the popular architectural styles of the Victorian era, which complements the adjoining commercial building at 412 College (1904), which anchors the northwest corner of Lippincott Street and is listed on the City of Toronto's Heritage Register.

Contextually, the properties at 414, 418 and 420 College Street are valued for their roles in defining, supporting and maintaining the historical character of College Street west of Spadina Avenue, which retains its character as a "Main Street" identified primarily by its late 19th century commercial buildings that set the standard for the scale and setbacks along the thoroughfare.

The buildings at 414, 418 and 420 College Street are historically, visually and physically linked to their setting in the block between Lippincott and Bathurst streets where other late 19th and early 20th century commercial buildings share their scale and setback. They are adjoined on the east by the R. E. Crane Drugstore (1905) at 412 College Street and on the west by the group of commercial buildings (1888) at 422-426 College Street, all of which are listed on the City of Toronto's Heritage Register.

Heritage Attributes

The heritage attributes of the buildings at 414, 418 and 420 College Street are:

- The setback, placement and orientation of the buildings on the north side of the street, west of Lippincott Street
- The scale, form and massing of the three-storey rectangular-shaped plans
- The flat rooflines
- The materials with the brick cladding and the brick and stone detailing (the brickwork has been painted)
- On the principal (south) elevations of all of the buildings, above the first (ground) floor storefronts (which have been altered), the flat-headed window openings in the second storey (which have been altered), and the pairs of segmental-arched window openings in the third storey with the brick flat arches and the stone sills

Note: the east and west side elevations adjoin the neighbouring buildings. The rear (north) elevations and wings are not identified as heritage attributes.

Attachment 4: College Street Historical Overview and Typologies



College Street east from Bellevue Avenue, 1908 (City of Toronto Archives, Fonds 1244, Item 2460)

College Street History

The area comprising the College Street Study originated as part of the series of 100-acre "Park Lots" that were laid out in the area between present-day Queen and Bloor streets following the founding of Toronto as the Town of York (1793). Granted to associates of the provincial government, the Park Lots were intended as the location of country estates for government and military officials. During the 19th century, the allotments were subdivided for residential development along streets that were extensions of the grid pattern established in the Old Town neighbourhood.

Within the study area, College Street appeared in the early 1800s as a private road known as "College Avenue" and accessing King's College (forerunner to today's University of Toronto). The lands adjoining College Street between McCaul Street and Spadina Avenue were developed in the late 19th century with detached and semi-detached house form buildings that were served by low-rise commercial edifices, usually found at street intersections. By the mid-19th century, College Street was extended westward, crossing Spadina Avenue and continuing to Bathurst Street. In this section, College Street was built up with mainly commercial edifices, interspersed with institutional buildings that included the landmark Church of Saint Stephen-in-the-Fields (rebuilt 1865).

By the early 1900s, the large warehouse buildings associated with Toronto's development as an industrial centre (adjoining the intersection of King Street West and Spadina Avenue), as well as the city's "tall building" boom, began to appear throughout the downtown core, including College Street on both sides of Spadina Avenue where buildings that included the Oddfellows Building at 229 College were new additions to the skyline. Throughout the remainder of the 20th century, College Street between McCaul and Bathurst streets continued to evolve with the conversion of former residences into commercial and mixed-use buildings and the introduction of new edifices, including post-World War II office buildings designed with features of the Modern Movement in architecture and, as late as the 1990s, a branch of the Toronto Public Library at College and Huron streets that complemented its neighbours in scale and setback while introducing Postmodern styling to College Street.

Today, College Street within the study area remains one of Toronto's main commercial thoroughfares, serving the University of Toronto community and the established

surrounding residential neighbourhoods to the south and west, including the Grange, Harbord Village and Kensington Market.

College Street Typologies

Within the College Street Study Area, the properties identified for their heritage potential are organized into four main typologies: late 19th century residential buildings (most of which were converted for mixed uses), late 19th century commercial buildings (comprising storefronts with living or office space above), early 20th century commercial buildings (with taller warehouses or “lofts” for commercial or industrial uses), and late 20th century commercial buildings (identified as low-rise office buildings with Modern styling). The study area contains two properties that do not meet the latter typologies, but are important contributors to the cultural heritage of the area: the Cawthra Mansions on the south side of the street between Beverley and Ross streets, with the trio of early 20th century “garden court” apartments, and the Lillian Smith Branch of the Toronto Public Library (1995) at College and Huron streets, with its distinctive late 20th century Postmodern styling that pays homage to the scale and classical detailing of the University of Toronto’s campus on the opposite side of the street.



Late 19th century residential



Late 19th century commercial



Early 20th century warehouse



Late 20th century office



Other typologies: early 20th century "garden court" apartment complex (left) and late 20th century institutional building (right)